



Meeting	Planning Committee
Date and Time	Wednesday, 16th April, 2025 at 9.30 am.
Venue	Walton Suite, Guildhall Winchester and streamed live on YouTube at www.youtube.com/winchestercc

Note: This meeting is being held in person at the location specified above. Members of the public should note that a live video feed of the meeting will be available from the council's YouTube channel (www.youtube.com/winchestercc) during the meeting.

A limited number of seats will be made available at the above named location however attendance must be notified to the council at least 3 clear working days (by 4.30pm on Thursday, 10 April 2025) before the meeting. Please note that priority will be given to those wishing to attend and address the meeting over those wishing to attend and observe.

AGENDA

PROCEDURAL ITEMS

1. Apologies and Deputy Members

To record the names of apologies given and Deputy Members who are attending the meeting in place of appointed Members.

2. Disclosures of Interests

To receive any disclosure of interests from Councillors or Officers in matters to be discussed.

Note: Councillors are reminded of their obligations to declare disclosable pecuniary interests (DPIs), other registerable interests (ORIs), non-registerable interests (NRIs) and on Pre-determination or Bias in accordance with legislation and the Council's Code of Conduct.

If you require advice, please contact the appropriate Democratic Services Officer, prior to the meeting.

3. Minutes of the previous meeting. (Pages 9 - 16)

Minutes of the previous meeting held on 12 March 2025.



Public speaking is allowed on individual planning applications, subject to certain restrictions – please contact the Public Speaking Co-ordinator as soon as possible, but prior to **4.30pm on Thursday, 10 April 2025** via email: planningcommittee@winchester.gov.uk OR Tel: (01962) 848 339 to register to speak and for further details.

BUSINESS ITEMS

	Report Number	Ward
4.	Where appropriate, to accept the Update Sheet as an addendum to the Report	
5.	Planning Applications (WCC Items 6 - 9) (Report and Update Sheet refers)	
6.	30 Berewecke Road Winchester Hampshire SO22 6AJ (Case number: 23/02738/FUL) (Pages 17 - 54)	St Barnabas
7.	Emlyns, Dradfield Lane, Soberton, SO32 3QD (Case number: 24/00881/FUL) (Pages 55 - 76)	Central Meon Valley
8.	Wykeham House, 11 Mill Hill, Alresford, Hampshire, SO24 9DD (Case number: 24/02762/HOU) (Pages 77 - 118)	Alresford & Itchen Valley
9.	Wykeham House, 11 Mill Hill, Alresford, Hampshire, SO24 9DD (Case number: 24/02763/LIS) (Pages 119 - 156)	Alresford & Itchen Valley
10.	Planning Applications (SDNP Items 11 & 12 and WCC Item 13) (Report and Update Sheet refers)	

The following items will not be considered before 2.00pm:

(Depending on the Committee's progress, some of the morning's items may overrun into the afternoon session. Nevertheless, the following items will not be considered before 2.00pm).

- | | | |
|-----|--|-------------------------------|
| 11. | The Sanctuary, Manor Farm Green, Twyford,
SO21 1RA
(Case number: SDNP/22/04058/FUL) (Pages
157 - 214) | Colden
Common &
Twyford |
| 12. | Land Off Petersfield Road, Bramdean,
Hampshire (Case number:
SDNP/24/01974/FUL) (Pages 215 - 254) | Upper Meon
Valley |
| 13. | 2 Abbots Ann Road, Winchester,
Hampshire, SO22 6ND (Case number:
25/00332/HOU) (Pages 255 - 274) | St Barnabas |

Laura Taylor
Chief Executive

All of the Council's publicly available agendas, reports and minutes are available to view and download from the Council's [Website](#) and are also open to inspection at the offices of the council. As part of our drive to minimise our use of paper we do not provide paper copies of the full agenda pack at meetings. We do however, provide a number of copies of the agenda front sheet at the meeting which contains the QR Code opposite. Scanning this code enables members of the public to easily access all of the meeting papers on their own electronic device. Please hold your device's camera or QR code App over the QR Code so that it's clearly visible within your screen and you will be redirected to the agenda pack.



8 April 2025

Agenda Contact: Claire Buchanan, Senior Democratic Services Officer tel: 01962 848 438 Email: cbuchanan@winchester.gov.uk
Matthew Watson, Senior Democratic Services Officer tel: 01962 848 317 Email: mwatson@winchester.gov.uk

**With the exception of exempt items, agendas, reports and previous minutes are available on the Council's Website <https://www.winchester.gov.uk/councillors-committees>*

MEMBERSHIP

Chairperson:

Rutter (Liberal Democrats)

Vice-Chairperson:

Williams (Liberal Democrats)

Conservatives

Cunningham
Langford-Smith

Liberal Democrats

Achwal V
Clear
Laming
Small

Green

White

Conservatives

Bolton and Godfrey

Deputy Members Liberal Democrats

Aron and Pett

Green

Lee

Quorum = 3 members



Working in Partnership



THE HUMAN RIGHTS ACT 1998:

Please note that the Human Rights Act 1998 makes it unlawful for the Council to act in a way incompatible with any of the Convention rights protected by the Act unless it could not have acted otherwise.

In arriving at the recommendations to grant or refuse permission, careful consideration has been given to the rights set out in the European Convention on Human Rights including Article 6 (right to a fair trial), Article 8 (right to respect for private and family life), Article 14 (prohibition of discrimination in enjoyment of convention rights) and Article 1 of the first Protocol (the right to peaceful enjoyment of possessions).

The Council is of the opinion that either no such rights have been interfered with or where there is an interference with the rights of an applicant or objector, such interference is considered necessary for any of the following reasons:-

- ◆ The protection of rights and freedoms of others
- ◆ Public safety
- ◆ The protection of health or morals
- ◆ The prevention of crime or disorder
- ◆ The economic well being of the country.

It is also considered that such action is proportional to the legitimate aim and in the public interest.

GENERAL GUIDANCE ON THE WORK OF THE COMMITTEE:

Background

The Planning committee meets on average once every four weeks. The membership of the committee is drawn from elected city councillors.

The Council's Constitution states that the vast majority of applications will be determined by the Planning officers (which are sometimes known as "delegated decisions"). However, if certain criteria are met from the Constitution, some applications (about 5%) are referred to committee for determination, rather than officers.

As part of the Winchester District includes the South Downs National Park (SDNP), the committee can also determine applications from this area on behalf of the National Park Authority.

At the meeting

At the start of the committee meeting, the councillors and officers will be introduced. Any councillor's declarations of interest will also be announced at this point. If the interest is considered by the councillor to be significant, he/she will leave the meeting when it reaches that item on the agenda.

Timing

The committee considers many applications and scrutinises each one thoroughly. However, to prevent waiting unnecessarily through other people's applications, where work demands it, agendas will be split into morning and afternoon sessions. The morning session will usually start at 9.30am and, where applicable, the agenda will set out those items which the committee will *not* consider before 2.00pm in the afternoon. Further details are set out below.

The Officer's presentation

On each item, the planning case officer will introduce the application to the committee. They will concentrate on showing details of the proposals with the aid of projected visual material, including photographs of the site and plans. The length and details of the presentation at the meeting will be proportionate to the nature and scale of the proposal. The officer will make a recommendation to the committee to either approve or refuse the application and, in the latter case, will state the reasons for this.

The officer is required to make a recommendation and the presentation will include material to explain why the scheme is being recommended for permission or refusal. However, officers will not restate the information set out in the report which relates to the assessment of the planning merits of the case. Specialist officers dealing with

issues such as landscape, design and historic environment may also be available at committee to provide advice on such matters and a legal representative will attend all Planning committee meetings.

Public participation:

There will be a period of public participation, as follows:

- Objectors (3 minutes in total),
- Parish Council representatives (3 minutes),
- Ward Members (local District Councillors)/Cabinet Members (5 minutes each),
- and supporters of the application (3 minutes in total).

The process is controlled by procedures to ensure fairness to both objectors and supporters. **To register to speak at the meeting, please contact the Public Speaking Co-ordinator on 01962 848 339 by 4:30pm at least THREE clear working days before the meeting**, (Thursday, 10 April 2025) in order to allow the meeting to be managed as efficiently as possible.

Please keep to the time allocated.

After each speaker's category, there will be an opportunity for the committee to ask questions of the speakers, if the committee considers it necessary to clarify any matters of fact that arise.

Aside from this, the committee will not enter into any further discussion with members of the public.

The names of members of the public etc who have registered to address committee meetings will appear in the minutes as part of the public record, which will be included on the Council's website. Those wishing to address a committee meeting who object to their names being made available in this way must notify the Democratic Services Officer either when registering to speak, or within 10 days of this meeting.

Further information about speaking at the Planning Committee can be [found here](https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee). (<https://www.winchester.gov.uk/planning/other-guidance/public-speaking-at-planning-committee>)

Members' Questions

After the officers' presentation and public participation there will be an opportunity for the Councillors on the committee to ask questions of the officers and clarification, if necessary, of public speakers.

The Councillors' Debate

The Councillors will then debate the application and may pick up any issues raised during public participation before a vote is taken to either;

- permit,
- refuse or
- defer (usually for a site visit or for further information). If a site visit is required then the item will usually be deferred to the next meeting of the committee to allow it to be reconsidered after the site visit has been held. The item will be reconsidered in its entirety, including public participation where those registering to speak will be given the opportunity to address the committee.

If the committee votes against the officer's recommendation, the reasons for this will be discussed and explained. Usually, the precise wording for the reasons for refusal will be delegated to the Service Lead Built Environment in consultation with the Chair. A summary of the committee's reasons will be included in the minutes.

Voting

Every Member has one vote when a matter before the meeting requires a decision. In the event of an equality of votes, the Chair may exercise a casting vote and that vote may be cast in any way they wish.

A Member may abstain from voting or vote differently from how they may have indicated during the debate, without further explanation. The way each member voted will not be recorded in the minutes, unless a motion to have a recorded vote has been passed.

After the meeting

After the meeting, the minutes will be available from the Council's website and a decision notice will be sent to the applicant/agent. Applicants have a right of appeal against a committee decision to refuse planning permission, or any conditions imposed on permission, and any appeal will be considered by an Inspector appointed by the Secretary of State. Where an application has been permitted, there is no opportunity for objectors to appeal, other than to the Court by way of judicial review on a point of law.

Filming and broadcast notification

This meeting will be recorded and broadcast live on the Council's YouTube channel. The meeting may also be recorded and broadcast by the press and members of the public – please see the Access to Information Procedure Rules within the Council's Constitution for further information, which is available to view on the [Council's website](#). Please note that the video recording is subtitled, but you may have to enable your device to see them (advice on how to do this is on the meeting page).

Disabled access

Disabled access is normally available, but please phone Democratic Services on 01962 848 264 or email democracy@winchester.gov.uk to ensure that the necessary arrangements are in place.

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Public Document Pack Agenda Item 3

PLANNING COMMITTEE

Wednesday, 12 March 2025

Attendance:

Councillors

Williams
Achwal V
Clear

Laming
Langford-Smith
White

Apologies for Absence:

Councillor Cunningham

Deputy Members:

Councillor Godfrey

Other members in attendance:

Councillor Warwick

[Video recording of this meeting](#)

1. **APOLOGIES AND DEPUTY MEMBERS**

Apologies were noted as above.

2. **DISCLOSURES OF INTERESTS**

Councillor Achwal and Councillor Small made a personal statement that they were Ward Members in respect of item 9 (The Homestead, Solomans Lane, Shirrell Heath, Southampton, Hampshire, SO32 2HU). However, they had taken no part in discussions regarding the application, therefore they took part in the consideration of the item and voted thereon.

Councillor Small declared an interest in agenda item number 8 (Three Oaks Kennels Botley Road Bishops Waltham Southampton Hampshire (24/00526/FUL)) as she knew the applicant. Councillor Small stated that she would take no part in the determination of the application and would leave the room for the consideration of the item.

Councillor Williams declared a disclosable pecuniary interest due to his role as a Hampshire County Councillor. However, as there was no material conflict of interest, he remained in the room, spoke, and voted under the dispensation granted on behalf of the Audit and Governance Committee to participate and vote in all matters which might have a County Council involvement.

In addition, Councillor Williams made a personal statement in respect of item 8 (Three Oaks Kennels Botley Road Bishops Waltham Southampton Hampshire (24/00526/FUL)). Councillor Williams advised that the application was within his ward and that he was also a Parish Councillor at Bishops Waltham Parish Council. However, he had taken no part in discussions regarding the application, therefore he took part in the consideration of the item and voted thereon.

3. **MINUTES OF THE PREVIOUS MEETING.**
RESOLVED:

That the minutes of the previous meeting held on 5 February 2025 be approved and adopted.

4. **WHERE APPROPRIATE, TO ACCEPT THE UPDATE SHEET AS AN ADDENDUM TO THE REPORT**

The committee agreed to receive the Update Sheet as an addendum to the Report.

5. **PLANNING APPLICATIONS (ITEMS 6-9 AND UPDATE SHEET REFERS)**

A copy of each planning application decision was available to view on the council's website under the respective planning application.

The committee considered the following items:

6. **LAND AT SILKSTEAD FARM POLES LANE HURSLEY HAMPSHIRE (24/01007/FUL)**

Proposal Description: Construction and operation of a battery energy storage system (BESS) facility, associated infrastructure, access provision and ecological enhancement for a temporary period of 30 years.

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including the following.

1. Comments from Hursley Parish Council made on the 16th of July 2024, that had not been included in the officer's report, which could be summarised as follows:
 - a. That the Parish Council objected to the application.
 - b. That although the Parish Council recognised the need for energy generated not to be wasted nationally, this facility was in the wrong place.
 - c. The Parish Council felt that the proposal failed NPPF criteria, that the application lacked alternative sites, that policies were not adequately addressed, that the site was prone to flooding, that there was an increased road accident risk and that this was a speculative private business enterprise.
2. Further comments from the Parish Council were made on the 8th of March 2025, which referred to the lack of support for this application and the number of objections.

3. It was also proposed to change the wording of conditions 3, 4, 9 and 25 and the full details of these proposed changes were set out in full on the update sheet.

The case officer provided a verbal update and provided further information to the Committee on these points.

During public participation, Martin Ayre spoke in objection to the application, Kevin Parr spoke in support of the application and Councillor David Killeen on behalf of Hursley Parish Council spoke to object to the application and answered members' questions.

Councillor Jan Warwick spoke as a ward member and expressed several points on behalf of residents which could be summarised as follows.

1. It was noted that Government guidance on battery storage locations was limited, but required Local Authorities to consider the views of the local community. In this instance, over 20 formal objections had been received from residents, and objections had been submitted by the three Parish Councils.
2. She highlighted that battery storage facilities are typically located adjacent to substations to minimise residential impact, contrasting this with the proposed site's 2.5km distance from the nearest substation and the lack of clarity regarding connection and cable routing.
3. Councillor Warwick believed that the proposal constituted an industrial complex, not a small agricultural facility, and raised concerns about 24/7 lighting, noise output, and the substantial impact on a dark skies rural setting, with some homes located only 200m from the site.
4. There was much local concern regarding the removal of a mature hedgerow for site access.
5. She drew attention to the Noise Assessment, which acknowledged that predicted nighttime noise levels would exceed background levels, potentially requiring residents to permanently close bedroom windows.
6. Councillor Warwick believed that the application contravened several planning policies, including MTRA4, DM23, and DM24, and highlighted concerns from Tree Officers regarding the proximity to ancient woodland.
7. Concerns were raised about the site's proneness to flooding and the Flood Risk Assessment's findings of high groundwater flood risk.
8. Councillor Warwick urged the committee to reject the application. However, should approval be considered, she requested the imposition of conditions to guarantee the protection of ancient woodland, relocate or reduce site size, ensure habitat management plan implementation, prohibit Sunday/bank holiday construction, and implement regular mud clearance on Poles Lane.

The committee proceeded to ask questions and debate the application.

RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet. In addition, and in response to concerns about noise levels, particularly at night, the committee agreed to add a condition ensuring compliance with the noise report that had been submitted and approved. The precise wording to be delegated to the Service Lead: Built Environment.

7. **PAINTERS FIELDS HOUSE 3 GRAFTON ROAD WINCHESTER HAMPSHIRE SO23 9SX (23/00667/FUL)**

Proposal Description: Erection of new 4 bedroom dwellinghouse. Demolition of an existing garage.

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including the following.

1. Regarding Page 69 of the agenda report pack, reference should made to the application being in the St Michael Ward, not the Southwick and Wickham Ward.
2. Regarding Page 76, of the agenda report pack it was proposed that the following text “the proposal will not result in harm to the significance of the setting and historic interest of the listed building” be updated to “the proposal will result in less than substantial harm to the significance of the listed building”
3. Regarding Page 76 of the agenda report pack it was proposed to replace paragraph 4 with the following:

“The application was within the Christchurch Road Conservation Area. The proposed dwelling would be readily visible from the public realm within the conservation area; however, the proposed dwelling and associated elements are considered to respond to the immediate street scene with a scale and appearance in keeping to the site and character of the area.”

4. Two additional conditions (20 and 21) were proposed as follows:
 - a. 20. “No development, or works of site preparation, shall take place until details, including plans and cross sections of the existing and proposed ground levels of the development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto, have been submitted to and approved in writing by the Local Planning Authority”.

Reason: To ensure a satisfactory relationship between the new development and adjacent buildings, amenity areas and trees.”

- b. 21. "Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 as amended (or any Order revoking and re-enacting that Order with or without modification), no development permitted by Classes A and C, D and E of Part 1 Schedule 2 of the Order shall be carried out without the prior written consent of the Local Planning Authority".

Reason: To protect the amenities of the locality and to maintain a good quality environment."

The case officer provided a verbal update and provided further information to the Committee on these points.

During public participation, Liam Kilpatrick spoke in objection to the application, and Darek Urlewicz spoke in support of the application and answered members' questions.

The committee proceeded to ask questions and debate the application and received advice from the Legal Officer concerning Party Wall Agreements.

RESOLVED

1. The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet.
2. In addition, the committee agreed to the following:
 - a. An additional condition requiring a Construction Management Plan which would need to be submitted and approved in writing by the local planning authority before any work begins. The plan would address several matters including how waste would be disposed of, and working hours to minimize disruption to neighbours.
 - b. An additional condition restricting the basement from being used as bedrooms in order to ensure the dwelling remains assessed as a four-bedroom property.

The precise wording of these conditions is to be delegated to the Service Lead: Built Environment.

8. **THREE OAKS KENNELS BOTLEY ROAD BISHOPS WALTHAM SOUTHAMPTON HAMPSHIRE (24/00526/FUL)**

Proposal Description: Proposed 3 new kennel blocks & 2 replacement isolation units with associated paddocks at Three Oaks Kennels.

The application was introduced. Members were referred to the update sheet which provided additional information regarding a further representation that had been received from a local resident who had previously commented raising concerns about the noise impact assessment. However, this had been assessed by the Environmental Protection Officer who was satisfied with the proposal.

The case officer provided a verbal update and provided further information to the Committee on these points.

During public participation, Patrick Barry spoke in support of the application and Councillor Tracy Conduct on behalf of Bishops Waltham Parish Council spoke against the application and answered members' questions.

The committee proceeded to ask questions and debate the application and received advice from the Legal Officer. The Legal Officer clarified that there was no conflict of interest for the City Council due to the City Council's Dog Warden using the kennel facilities. He also responded to questions about overnight accommodation and nutrient neutrality calculations and provided advice regarding the licensing regime for kennel blocks.

RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet.

In addition, it was agreed to amend condition no. 6 relating to noise, to require details of noise attenuation measures to be submitted and approved in writing by the local planning authority before any work begins. The precise wording to be delegated to the Service Lead: Built Environment.

9. **THE HOMESTEAD, SOLOMANS LANE, SHIRRELL HEATH,
SOUTHAMPTON, HAMPSHIRE, SO32 2HU (24/02366/FUL)**

Proposal Description: Erection of 2No. detached dwellings and garages with associated car parking along with use of existing access and creation of new access onto Solomons Lane.

The application was introduced. Members were referred to the update sheet which provided additional information regarding several matters including the following.

1. A change to the wording of condition 5 regarding the Habitat Management and Monitoring Plan which was set out in full on the update sheet.
2. A proposal to include a new condition (no.20) regarding the removal of Permitted Development rights as follows:
 20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order with or without modification) no development permitted by Class A of Part 1; of Schedule 2 of the Order, shall be carried out without the prior written consent of the Local Planning Authority.

Reason: To ensure that the development was proportionate to the site in order to protect the amenities of the locality and to maintain a good quality environment.

The case officer provided a verbal update and provided further information to the Committee on these points.

During public participation, Philip Dudley (Agent) spoke in support of the application and Councillor Sam Charles on behalf of Shedfield Parish Council spoke against the application and answered members' questions.

The committee proceeded to ask questions and debate the application and received advice from the Legal Officer regarding the weight to be given to statutory consultees regarding drainage and sewerage, and the types of evidence that would be required to challenge statutory consultees.

RESOLVED

The committee agreed to grant permission for the reasons and subject to the conditions and informatives set out in the report and the update sheet.

The meeting commenced at 09:30 and concluded at 12:50

Chairperson

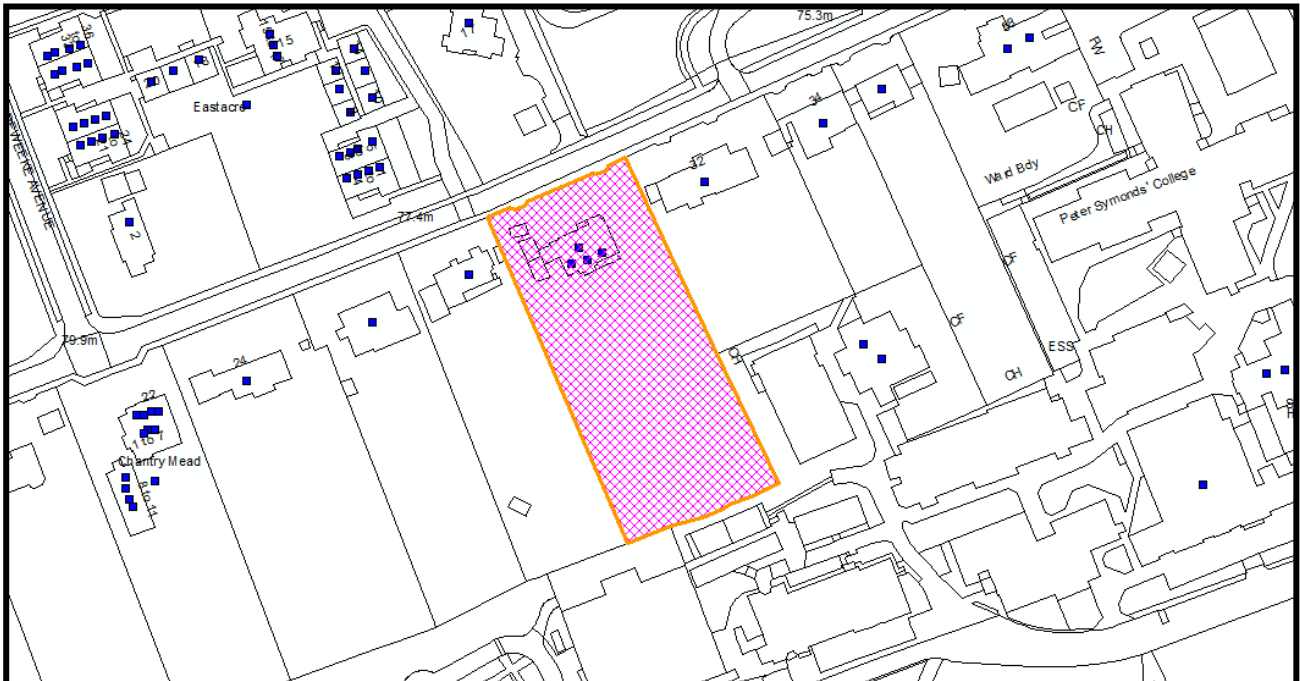
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WINCHESTER CITY COUNCIL PLANNING COMMITTEE

Case No: 23/02738/FUL
Proposal Description: The erection of six residential dwellinghouses, with associated access, landscaping and parking. Retention of existing dwelling. (AMENDED DESCRIPTION)
Address: 30 Bereweeke Road Winchester Hampshire SO22 6AJ
Parish, or Ward if within Winchester City: St Barnabas
Applicants Name: Mr Chris Rees
Case Officer: Catherine Watson
Date Valid: 8 December 2023
Recommendation: Application Permitted
Pre-Application Advice Yes

Link to Planning Documents

[Link to page – enter in reference number: 23/02738/FUL](https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple)
<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

Reasons for Recommendation

The development is recommended for permission as it is considered that it will represent an efficient use of land for the provision of residential properties.

General Comments

The application is reported to Committee due to the number of objections received contrary to the Officer's recommendation.

Amendments to Plans Negotiated

Amended plans were submitted on 6th February 2025. These show the retention of the existing dwelling and the revised layout and design of the proposed dwellings, landscaping and other associated matters. Letters advising of the amended plans were sent to those who had submitted a comment on the original scheme, a new site notice was displayed and three-week publicity period commenced.

Site Description

The site consists of a long, large residential plot situated on the south-east side of Bereweke Road, within the settlement boundary of Winchester. The site area is approximately 0.4ha. To the front of the plot, the existing dwelling is a late-Victorian villa which was built in approximately 1900. Along the front boundary is a close-boarded fence with trees and shrubs, as well as a gravel in/out driveway behind. The side and rear boundaries are characterised by rows of mature trees with dense shrubbery underneath. The rear of the plot backs onto Peter Symonds College. The garden is predominantly laid to lawn and slopes down to the south where it has a more untended appearance.

Proposal

The proposal is for the erection of six residential dwellinghouses with associated access, landscaping and parking. The existing dwelling is to be retained.

Relevant Planning History

None relevant.

Consultations

Service Lead – Built Environment (Historic Environment) –

- Support. Retention of the existing building, which is a non-designated heritage asset, satisfactorily addresses the concerns previously raised by the Historic Environment team.

Service Lead – Built Environment (Urban Designer) –

- Objection to original proposals. .

Service Lead – Engineering (Drainage) -

- No objection, subject to standard pre-commencement condition for foul and surface water details.

Service Lead – Sustainability and Natural Environment (Ecology) –

- Support, subject to conditions for external lighting, Construction Environment Management Plan and biodiversity enhancement features for the site.

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Service Lead – Sustainability and Natural Environment (Landscape) –

- Comment. The revised scheme has overall reduced the effects of the development on the location to a degree.

Service Lead – Sustainability and Natural Environment (Trees) –

- No objection, subject to conditions.

Hampshire County Council (Highway Authority) –

- No objection, subject to a condition.

Historic Buildings and Places

- (Submitted in response to the original proposals). Objection to the loss of the existing dwelling.

Representations:

Councillor Learney (St Barnabas Ward).

Response to original proposals (17.01.2024). No further comments submitted in respect of amended proposals.

– “I am objecting on two principal grounds, local character and distinctiveness and biodiversity.

Context and Character

30 Bereweek Road is in a row of large late Victorian/Edwardian properties and among the earliest to be constructed on a road which didn't exist until the latter part of the 19th century. The proposal to demolish and build in the modern indeterminate historical style is inappropriate and would destroy a building which helps form coherent part of the history of this area of the City and contrary to policy CP20 - Heritage and Landscape character and the High-Quality Places SPD.

The character of the area is of imposing detached houses set back a moderate distance from the road and screened by trees. While there is capacity on the site for additional dwellings this could be better achieved through retention and possibly subdivision of the existing house with more modest dwellings behind achieving higher density with minimal impact on the street scene.

Biodiversity

The mitigation proposed for the loss of a significant number of large trees and shrubs is entirely inadequate. Additional planting is small scale. The Eastern boundary 'wildlife corridor' is too narrow and has the access road and car parking areas directly adjacent to it leading to significant car movements under the trees - particularly as the access is designed to serve more houses than the current application. The hedges proposed between gardens while laudable are in addition to fencing rather than instead of, evergreen and in compact gardens unlikely to be maintained as envisaged in the long run.

Transport and access comment

While there is passing reference to the bus stop outside the property in the transport assessment this constraint is then ignored. Plans need to show the bus stop and any potential impacts particularly as contrary to the transport assessment the single access does not match the location of the exiting access point.

Case No: 23/02738/FUL

WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

This is a very busy pedestrian route, and it is essential that visibility splays are unobstructed by the new planting which currently includes hedging up to the edge of the accesses. Surface treatments which make it clear drivers are about to enter a pedestrian priority area are also important”.

City of Winchester Trust

Response to original proposals (15.01.2024). No further comments submitted in respect of amended proposals.

- No condition survey has been submitted to support the need to demolish the existing building
- Would change the character of residential development on the south side of Bereweke Road
- Proposed development does not respect the qualities, features and characteristics that contribute to the distinctiveness of the area.
- The development would create a precedent for similar development on the south side of Bereweke Road.

57 Objecting Representations received from different addresses citing the following material planning reasons:

- Loss of the existing house is harmful to the character of the area.
- Overdevelopment of the site.
- Sets a precedent for similar development.
- Overlooking and loss of privacy.
- Increased traffic on Bereweke Road.
- Plot sizes are too large.

3 Supporting Representations received from different addresses citing the following material planning reasons:

- The site is in a sustainable location.
- The scheme has been designed so that it is sympathetic to the surrounding area.

3 Comment Representations (neither objection nor support)

- Would like to know what will happen to the existing dwelling (sale etc).

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (December 2023)

1. Introduction
2. Achieving sustainable development
4. Decision-making
5. Delivering a sufficient supply of homes
8. Promoting healthy and safe communities
9. Promoting sustainable transport
11. Making effective use of land
12. Achieving well-designed places
14. Meeting the challenge of climate change, flooding and coastal change
15. Conserving and enhancing the natural environment
16. Conserving and enhancing the historic environment

WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

National Planning Practice Guidance

- Air quality
- Appropriate assessment
- Community Infrastructure Levy
- Consultation and pre-decision matters
- Design: process and tools
- Determining a planning application
- Effective use of land
- Fees for planning applications
- Flood risk and coastal change
- Healthy and safe communities
- Historic environment
- Housing supply and delivery
- Making an application
- Natural environment
- Renewable and low carbon energy
- Use of planning conditions
- Waste

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- DS1 – Development Strategy and Principles
- CP1 - Housing Provision
- CP2 - Housing Provision and Mix
- CP10 - Transport
- CP11 – Sustainable Low and Zero Carbon Built Development
- CP13 – High Quality Design
- CP16 – Biodiversity
- CP17 – Flooding, Flood Risk and the Water Environment
- CP20 – Heritage and Landscape Character

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- WIN1 – Winchester Town
- DM1 – Location of New Development
- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking
- DM24 – Special Trees, Important Hedgerows and Ancient Woodlands
- DM29 – Heritage Assets

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Residential Parking Standards 2009

Other relevant documents

Winchester District Local Plan 2020-2040: Regulation 19 Consultation

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.

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Nature Emergency Declaration.

Statement of Community Involvement 2018 and 2020

Biodiversity Action Plan 2021

Waste Management Guidelines and Bin Arrangements

Position Statement on Nitrate Neutral Development – February 2020

Planning Considerations

Principle of development

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF, 2024) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The Regulation 19 Local Plan, as now agreed by Full Council, can be given appropriate and increasing weight in the assessment of development proposals in advance of Examination and Adoption as set out in paragraph 49 of the NPPF.

Bereweeke Road is a busy urban street within the settlement boundary of Winchester. The majority of the street is residential in nature however, other uses are present including Peter Symonds College, Lanterns Children's Centre and a number of nursing homes and supported housing facilities. These are mostly situated on the northern side of the road, although Peter Symonds College is situated to the north-east and rear of the site.

The site is characteristic of this part of the south-eastern side of Bereweeke Road. It, along with its neighbours to the south-west, comprises a long plot with a single, detached dwelling to the front. The dwelling, along with its neighbours, dates to the Edwardian (early 20thC) period and is in the form of a two-storey property with rooms in the roof. It is a brick-built villa with a clay tiled pitched roof and retains a lot of its original features, including brick chimney detailing, window reveals, parapets and string courses. For this reason, it is considered to be a non-designated heritage asset (NDHA). The heritage impact will be discussed in more detail in the relevant section of this report.

The wider plot is delineated by trees and mature shrubbery and has a large garden to the rear. There is a gravelled area behind a brick wall to the front of the building which is used for parking. There are two vehicular accesses serving this.

The proposal is for the erection of six dwellings and associated development. There is a mix of 3 three bed and 3 four bed dwellings. Policy CP2 of the LPP1 states that the majority of homes should be in the form of two and three bed houses, unless local circumstances indicate that an alternative approach should be taken. In this instance, the development achieves 50% three bed houses. Given the nature and comparatively large size of the site, as well as its location within an established, busy residential neighbourhood where larger dwellings are in demand, it is considered that a mix containing four bed houses is justified and is appropriate in this instance. The proposal therefore complies with policy CP2.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations; therefore, an Environmental Impact Assessment is not required.

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Impact on character and appearance of area

The original proposals sought to demolish the existing dwelling and construct seven dwellings, with access along the eastern boundary. To the front of the plot was a large, detached five bed dwelling along with a pair of three bed semi-detached properties in a Georgian/Victorian style. The centre of the plot contained two detached dwellings, as did the rear, in a similar architectural style. It was considered that the proposed development did not respond to the context of its surroundings in terms of architectural design and layout and following the further identification of the existing dwelling as a NDHA, the applicant was requested to amend the application to show its retention.

The Winchester and Eastleigh Design Review Panel considered the original scheme in February 2024. Comments included that the neo-Georgian design was not in keeping with the surrounding late Victorian/early Edwardian properties; some of the detailing on the buildings were of a poor quality; a lack of renewable energy provision; the architectural integrity of the existing dwelling which is a non-designated heritage asset and should not be lost; the high number of dwelling types for a scheme of only seven dwellings. A pre-app was submitted in order to discuss potential amendments as a result of the Panel's and council officers' comments. These were not reconsidered by the Panel, but were as a result of discussions with applicant, case officer and urban design officer. Ultimately, this resulted in a revised scheme which is the subject of the current application. It was not considered necessary to reconsult the council's urban design officer on the amendments to the planning application as these had already been agreed at pre-app stage.

The proposal now consists of six dwellings situated to the rear of the existing house. These consist of two pairs of semi-detached properties at the rear (Plots 1 and 2 and Plots 3 and 4) and two detached in the centre of the site (Plots 5 and 6). Plots 1 and 2 are brick-built with tiled roofs, casement-style windows and two dormers to the front and rear roof slopes. The side elevations are largely blank, other than the inclusion of a door and small window at ground floor level on each. The ground floor contains a hall, study, utility and open plan kitchen/diner. At first floor is the master bedroom with en-suite as well as a family lounge and there are an additional two bedrooms within the roof. Solar PV panels are included on the flat-roofed element of both dwellings.

Plots 3 and 4, whilst adjoining, are different to each other in terms of their layout and orientation. The frontage of plot 3 is set back from that of Plot 4 by approximately 2m and Plot 3 is narrower than its neighbour. It contains large sash windows and is finished in render. Plot 4 is wider and brick-built, also with sash windows. Solar PV panels are included to the rear roof slope of Plot 3 and to the western slope of Plot 4. On both properties, there are a minimal number of windows to the side elevations and these serve entrance halls, utility rooms, WCs and landings.

Both pairs of semi-detached properties include gardens to the rear area, as well as small front gardens. Parking is provided to the sides and in between the pairs and Plots 1, 2 and 4 include detached garages.

Moving into the centre of the site, Plots 5 and 6 are detached properties. Plot 5 is situated adjacent to the western boundary of the site and is two storeys with rooms in the roof. It has four bedrooms; two at first floor and two at roof level. It has an attached single garage, with an additional two parking spaces to the front. Solar PV panels are located on

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the western roof slope. Materials proposed are brick with plain tiles and single dormers to the front and rear. It has a large garden to the rear and side, with a small front garden.

Plot 6 is a large dwelling, designed in a late Victorian/Edwardian design. It is situated in the centre of the site and will be the first property encountered when approaching along the access road. Materials include brick, plain tile and bay windows at ground floor level on the front elevation. The east elevation features a two-storey element including a door and windows, in order to add a degree of visual interest to the otherwise blank elevation. Again, this property has a large garden and includes a garage to the rear, adjacent the access road. A further two parking spaces are included to the front. The curving boundary adjacent to the access road will be landscaped to provide a soft landscaped effect.

When looking at the site as a whole, the dwellings have been designed to demonstrate a visual hierarchy. The first plots encountered upon approach are numbers 5 and 6. These are larger and more “high-status” in their appearance including their detailing and features such as the bay windows on Plot 6. Travelling towards the rear of the site (Plots 1-4), the design and layout is lower key with simpler detailing and smaller footprints. This is considered to be an appropriate response to the nature of the site.

An important part of the character of the site is the presence of mature trees and shrubbery along the east, south and west boundaries. These are to be largely retained, with the new vehicular access road positioned adjacent to the east boundary. The trees provide a good level of screening to the site, as well as creating a pleasant setting for the occupants of the development.

It is acknowledged that the proposed development will significantly alter the character and appearance of the site however, it is considered that the approach taken in respect of layout, housing mix and design is appropriate. There is also existing development (Peter Symonds College) to the east immediately adjacent to the rear of the site. This provides a different context than the properties further to the south-east, which do not have a significant amount of development to the south-east of their plots, whereas the College is more significantly developed. Subject to details of materials (condition 3) and landscaping (conditions 16 and 17), it is considered that the proposed development is acceptable in terms of its impact upon the site and wider surrounding area and therefore complies with policies DS1, CP13 and CP20 of the LPP1, DM1, DM15, DM16 and DM17 of the LPP2, as well as the High-Quality Places SPD.

Development affecting the South Downs National Park

The application site is located 1.1km from the South Downs National Park.

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

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In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

Historic Environment

The works affect a Non-Designated Heritage Asset (NDHA) including setting.

The development is within the curtilage of a non-designated heritage asset. The following legislation and policies are taken into account in the assessment and determination of this planning and listed building application.

Relevant Legislation

The preservation of a non-designated heritage asset (Policy CP20 Winchester District Joint Core Strategy; NPPF (2024) Section 16).

Guidance

The historic environment section of the Planning Practice Guidance further outlines the role of the Local Planning Authority in considering the effects of new development that are in the vicinity of or affect the setting of NDHAs. Paragraph 216 of the NPPF advises that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

30 Berewecke Road is a Victorian/Edwardian villa (cartographic evidence suggests that the building was first constructed between 1898 and 1909) sitting within a generous plot. Along with its neighbours, it represents the predominant building typology on the southern side of Berewecke Road. The significance of these villas derives from their architectural interest, as well-built vernacular buildings with attractive architectural detailing, and from their historic interest as evidence of the growth of Winchester in the late 19thC and early 20thC.

The comprehensive and well-researched Heritage Assessment reveals that this building has had a chequered history, with alteration to enable conversion to offices and two flats in the late-1940s, prior to conversion back to a single dwelling from 1977. Those conversion works appear to have been carried out in a sensitive manner and are noted in the Heritage Assessment as being 'stylistically in keeping with the late-Victorian architectural character of the building'. It is apparent that this building has heritage significance sufficient to warrant consideration in a planning application; it is a non-designated heritage asset.

This building has retained attractive architectural details, including decorative stone window reveals, detailed brick string courses and parapets and ornate timber eaves and bargeboards. Whilst not a landmark building, it is an attractive structure, which is characteristic of Berewecke Road, and fits into the established pattern of development. The alterations of the 1940s/50s and restoration in the 1970s/80s have not substantially diminished the architectural interest of this building, and its positive contribution to the character and appearance of the local area.

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No justification was given by the applicant which warranted the demolition of the building. Accordingly, it has now been agreed that the existing dwelling will be retained.

It is considered that the proposals would preserve the significance of the non-designated heritage asset.

The proposals would accord with the requirements of Section 16 para 216 of the NPPF (2024), Policy CP20 of WDLPP1 and the historic environment section of the Planning Practice Guidance.

Neighbouring amenity

The nearest adjoining properties are 32 and 28 Bereweeke Road and Peter Symonds College.

None of the proposed dwellings are situated in line with numbers 32 and 28 however, the proposed access road will be situated adjacent to number 32. It is not considered that the use of this by vehicular traffic serving the development would be significantly harmful in terms of noise and the existing tree cover provides a good level of screening.

The distance between the rear elevations of Plots 5 and 6 to the rear elevation of the original number 30 is approximately 22m. There is a single rear dormer to the rear of Plot 5 which serves a bedroom however, given the distance, proposed close boarded fence and proposed tree planting along the boundary, it is not considered that there would be any significant harm by means of overlooking. There is a dormer on Plot 5 that directly faces Plot 6 however, this serves a stairwell and therefore it is not considered that there would be significant harm by means of overlooking.

Plot numbers 4 and 5 are adjacent to the boundary of number 28 Bereweeke Road. They are situated 4.3m and 3.5m away respectively (side elevation to boundary). Plot 4 has parking spaces and a single storey garage immediately adjacent to the boundary and there are no dormers on the roof however, there is a first-floor window that serves a stairwell. Number 4 is adjacent to the rear garden space of number 29 and whilst there is a swimming pool within that property, it is not considered that the proposed dwelling and associated parking would cause any significant harm to the amenities of number 28 Bereweeke Road by means of overshadowing, overlooking or overbearing. Number 5 is situated closer to the house of number 28 but is still approximately 28m away. It is immediately adjacent to part of the rear garden but it is not considered to cause significant harm to the amenities of this property by means of overshadowing, overlooking or overbearing.

A number of buildings within the ownership of Peter Symonds College are situated adjacent to the rear boundary. However, given the verdant boundary treatment, which also includes a close-boarded fence, and distance between them it is not considered that there would be any significant harm by means of overlooking, overbearing or overshadowing.

Gardens – The gardens for the proposed dwellings are of a reasonable size. Plots 1-4 have a row of mature trees along their rear boundary. Notwithstanding this, there will still be sufficient outdoor amenity space that will not be overshadowed by these trees. Additional trees are to be planted along the boundaries of Plots 5 and 6 and there are

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existing trees along the south-western boundary and will not cause any significant overshadowing towards the rear gardens.

Therefore, the proposal complies with policy DM17 for the above reasons.

Sustainable Transport

The current property has parking to the front, with two vehicular accesses. There is also a garage. An updated Transport Assessment has been submitted by the applicant, reflecting the change in layout. In this, the access arrangements as supported by HCC Highways, have not changed. HCC Highways concluded in their response dated 18.01.2024 that the visibility splays for the widened eastern access are accepted as they align with HCC's Technical Guidance Note 3. It has also been demonstrated that an average estate vehicle can enter, exit and manoeuvre in forward gear with sufficient space. The largest vehicle using the site has been shown as a refuse freighter. Tracking plans show that this will be able to manoeuvre and turn within the site in order to be able to travel in a forward gear.

A number of comments have been submitted raising concerns about the additional number of vehicles using the highway which will be generated by the development, and their impact on local traffic. The number of trips made using TRICS data is considered to be acceptable and would not have any significant material effect to the safety and free flow of traffic on the surrounding highway network.

Sufficient allocated parking spaces have been provided for each dwelling, along with three visitor bays situated off the access road. Cycle parking is to be provided for each dwelling. Condition 6 has been recommended by the Highway Authority in relation to parking.

Condition 5 requires a Construction Method Statement and Management Plan to be submitted prior to the commencement of works on site. This will ensure the safe movement and operation of construction vehicles on site and on Bereweke Road, as well as storage of machinery, prevention of dust and mud on the road and arrangements for deliveries, amongst other things.

Therefore, the proposal complies with policies CP10 of the LPP1 and DM18 of the LPP2 with regards to impact on highway safety, traffic generation and adequate parking facilities on site.

Ecology and Biodiversity

The proposal is for overnight accommodation affecting Nitrogen and Phosphorous. Details of the appropriate assessment relating to the impact of nutrients caused by the development are given in the relevant section below.

There are no designated sites of ecological importance in the vicinity. The application was submitted prior to the requirement for the provision of mandatory Biodiversity Net Gain.

Protected species.

The presence of a protected species is a material consideration when a Planning Authority is considering a development that, if implemented, would be likely to result in harm to the species or its habitat. European protected species (EPS) have full protection under The Conservation of Habitats and Species Regulations 2017. It is an offence to deliberately capture, injure or kill, or deliberately disturb EPS.

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In this instance, the house has been identified as having potential for bat roosting and a maternity/satellite/day roost for Common Pipistrelle was recorded along with a Serotine Day Roost, during three emergence surveys.

The house is to be retained, however additional features will be included within the new development which will provide new bat roosting features within the new dwellings. The trees also form an important wildlife corridor and will be maintained and protected during construction and enhanced with new understorey native planting and protected from light disturbance from the new development. Features for nesting birds will also be provided. These will be controlled by conditions 13 and 14.

The applicant is also required to enter into a Protected Species License with Natural England prior to the commencement of works.

The presence of a protected species on site has therefore been addressed and the submitted reports are acceptable. The proposal therefore complies with policy CP16 of the LPP1.

Appropriate Assessment.

The application will have a likely significant effect in the absence of avoidance and mitigation measures on European and Internationally protected sites as a positive contribution of 5.88 Kg/N/year is made. SuDS will allow surface water to infiltrate the ground and, on this site, the lower level of groundwater is such that surface water will not infiltrate it. There is therefore no requirement to provide additional phosphorous mitigation and the contribution is 0.00 Kg/P/year. The authority has concluded that the adverse effects arising from the proposal are wholly consistent with, and inclusive of the effects detailed in the Winchester City Council Position Statement on nitrogen neutral development and the guidance on nitrogen and phosphorous from Natural England.

The developer has a Direct Allocation Agreement in place with Roke Manor for nitrogen mitigation.

The authority's appropriate assessment is that the application coupled with a mitigation package secured by way of a Grampian condition (4) complies with this strategy and would result in nitrogen and phosphorous neutral development.

It can therefore be concluded that there will be no adverse effect on the integrity of the designated sites identified above in this regard.

This represents the authority's Appropriate Assessment as Competent Authority in accordance with requirements under Regulation 63 of the Conservation of Habitats and Species Regulations 2017, Article 6 (3) of the Habitats Directive and having due regard to its duties under Section 40(1) of the NERC Act 2006 to the purpose of conserving biodiversity. Consideration of the Ramsar site/s is a matter of government policy set out in the National Planning Policy Framework.

Sustainability

The site is in a sustainable location, being within 2km of the city centre, rail station and bus station. Each of the properties will have solar PV panels and a water efficiency of no more than 110l per person/day. Each property will also have an EV charger fitted. Materials will

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be locally sourced where possible, reducing the carbon generated from material production and construction processes.

Developments should achieve the lowest level of carbon emissions and water consumption which is practical and viable. Policy CP11 expects new residential developments to achieve Level 4 for the Energy aspect of the Code for Sustainable Homes and Level 4 for the water aspect. Condition 18 secures the submission of design-stage data prior to the commencement of development to ensure this is complied with.

Condition 19 then requests as-built data prior to the occupation of the unit to ensure that the requirements have been met.

The proposal therefore complies with policy CP11 of the Local Plan Part 1.

Sustainable Drainage

The drainage for the development will feed into the mains drainage system on Bereweek Road. Condition 17 will ensure the submission of full details of foul and surface water drainage.

Therefore, the proposal complies with policy DM15 of the LPP2.

Trees and Landscape

Trees

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term.

As mentioned earlier in this report, there are a number of trees on site. Whilst these do not benefit from a TPO, they are considered to contribute positively to the character of the site and wider area. Conditions 7 – 12 will ensure their protection and retention both during construction works and in the future. In addition, a number of new trees are to be planted as part of the development.

The proposal will therefore comply with policy DM24.

Landscape

A detailed landscaping scheme has been submitted to accompany the application. Boundary treatments will comprise a mix of existing trees and supplementary planting around the exterior of the site, as well as hedging and small trees/shrubs alongside some brick walls. Surfacing of the private drives will be block pavers and patios and footpaths will be formed of natural stone slabs. The main access road into the site is to be formed of black bitmac. Measures to ensure adequate drainage of surface water are required by condition 15.

Overall, the proposed landscaping scheme is considered to be appropriate to the scale of development and ensures the protection and retention of existing trees and hedging. Conditions 18 and 19 will ensure a high level of soft and hard landscaping is provided and that it is implemented and maintained accordingly.

The proposal therefore accords with policies DM16 and DM17 of the LPP2.

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Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The proposal is for the construction of 6 residential dwellings to the rear of 30 Bereweeke Road. Whilst the proposed development differs from the prevailing spatial character of this part of the street by introducing new dwellings to the rear and north-east of the plot, it is considered to be acceptable and represents an efficient use of the land to provide residential dwellings in a highly sustainable location. The housing mix, with 50% three bed properties, is also considered to be appropriate for the site. The retention of the existing dwelling, a non-designated heritage asset, ensures that the appearance from the street is largely similar to that at present and does not diminish the row of Victorian/Edwardian properties that is such an important part of the character of this part of Bereweeke Road. The development will be built to high energy efficient standards and includes the use of solar PV panels and EV charging points for each dwelling. High quality materials are to be utilised, as well as a sensitive hard and soft landscaping scheme which also includes provision for the protection and enhancement of protected species (bats, birds etc) on site. The additional impact on the highway network is considered to be acceptable and will not result in an increased impact on highway safety or large numbers of additional vehicles entering it.

In conclusion, the proposed development is considered to be acceptable and is therefore recommended for permission.

Recommendation

Application permitted subject to the following conditions:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended)

2. The development hereby approved shall be constructed in accordance with the following plans:

Location Plan Drawing No 1080-PSL-00A received 24.11.2023

Proposed Site Plan Drawing No P01 Rev L received 06.02.2025

Outline Drainage Strategy by Ridge received 06.02.2025

Landscape Strategy Plan Drawing No 1223-103 received 06.02.2025

Tree Protection Plan Drawing No TPP-KC/30BEREWEEKE/001 Rev B received 06.02.2025

Plots 1 and 2 Plans and Elevations Drawing No P09 Rev B received 06.02.2025

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Plots 3 and 4 Plans and Elevations Drawing No P10 Rev C received 06.02.2025
Plot 5 Plans and Elevations Drawing No P11 Rev C received 06.02.2025
Plot 6 Plans and Elevations Drawing No P12 Rev B received 06.02.2025
Proposed Sections AA, BB, DD Drawing No P06 Rev E received 06.02.2025
Proposed Sections CC, EE, FF Drawing No P07 Rev B received 06.02.2025
Proposed Sections GG, HH Drawing No P08 Rev B received 06.02.2025
Reason: In the interests of proper planning and for the avoidance of doubt.

3. No development shall take place beyond damp proof course level until details and samples of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory appearance in the interests of the amenities of the area.

4. The development hereby permitted shall NOT BE OCCUPIED until:

- a) A water efficiency calculation which demonstrates that no more than 110 litres of water per person per day shall be consumed within the development, and this calculation has been submitted to and approved in writing by the Local Planning Authority
- b) A mitigation package addressing the additional nutrient input arising from the development has been submitted to and approved in writing by the Local Planning Authority. Such mitigation package shall address all of the additional nutrient load imposed on protected European sites by the development and be implemented in full prior to first occupation and shall allow the Local Planning Authority to ascertain on the basis of the best available scientific evidence that such additional nutrient loading will not have an adverse effect on the integrity of the protected European Sites, having regard to the conservation objectives for those sites; and
- c) All measures forming part of that mitigation have been secured and submitted to the Local Planning Authority.

Reason: To accord with the Conservation of Habitats and Species Regulations 2017, and Policy CP11, CP16 and CP21 of the Winchester District Local Plan Part 1.

5. No development shall start on site until a Construction Method Statement and Management Plan has been submitted to and approved in writing by the Local Planning Authority, which shall include:

- (a) A programme of and phasing of demolition (if any) and construction work;
- (b) The provision of long-term facilities for contractor parking;
- (c) The arrangements for deliveries associated with all construction works;
- (d) Methods and phasing of construction works;
- (e) Access and egress for plant and machinery;
- (f) Protection of pedestrian routes during construction;
- (g) Location of temporary site buildings, compounds, construction material, and plant storage areas;
- (h) Use of fences and barriers to protect adjacent land;

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- (i) Details of measures to be taken to prevent mud from vehicles leaving the site during construction works being deposited on the public highway;
- (j) Dust suppression, mitigation and avoidance measures
- (k) Measures for minimising construction waste and provision for the re-use and recycling of materials which shall be used in the construction of the development.
- (l) Noise reduction measures, including use and details of acoustic screens and enclosures, the type of equipment to be used and their hours of operation

Demolition and construction work shall only take place in accordance with the approved details.

Reason: In order that the Local Planning Authority can properly consider the effect of the works on the amenity of the locality.

6. Vehicles must only park in designated spaces to ensure refuse vehicles can turn and manoeuvre on site.

Reason: In the interest of highway safety.

7. Protective measures, including fencing and ground protection, in accordance with the Arboricultural Implications Assessment and Method Statement ref:- AIA/AMSKC/AH/30BEREWEEKE/001 Revision A written by Kevin Cloud of Technical Arboriculture and submitted to the Local Planning Authority shall be installed prior to any demolition, construction or groundwork commencing on the site.

Reason: To ensure protection and long-term viability of retained trees and to minimise impact of construction activity.

8. The Arboricultural Officer shall be informed once protective measures have been installed so that the Construction Exclusion Zone (CEZ) can be inspected and deemed appropriate and in accordance with the Arboricultural Implications Assessment and Method Statement Ref:- AIA/AMS-KC/AH/30BEREWEEKE/001 Revision A written by Kevin Cloud of Technical Arboriculture and Tree Protection Plan, Ref:- TPP-KC/30 BEREWEEKE/001 Revision B.

Reason: To ensure protection and long-term viability of retained trees and to minimise impact of construction activity.

9. The Arboricultural Officer shall be informed prior to the commencement of construction of special surfaces and specialist foundations under tree canopies so that a pre commencement site visit can be carried out. Telephone 01962 848360.

Reason: To ensure protection and long-term viability of retained trees and to minimise impact of construction activity.

10. No arboricultural works shall be carried out to trees other than those specified and in accordance with the Arboricultural Implications Assessment and Method Statement Ref:- AIA/AMSKC/AH/30BEREWEEKE/001 Revision A.

Reason: To ensure protection and long-term viability of retained trees and to

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minimise impact of construction activity.

11. Any deviation from works prescribed or methods agreed in accordance with the Arboricultural Implications Assessment Appraisal and Method Statement Ref:- AIA/AMSKC/AH/30BEREWEEKE/001 Revision A shall be agreed in writing to the Local Planning Authority.

Reason: To ensure protection and long-term viability of retained trees and to minimise impact of construction activity.

12. No development, or site preparation prior to operations which has any effect on compacting, disturbing or altering the levels of the site, shall take place until a person suitably qualified in arboriculture, and approved as suitable by the Local Planning Authority, has been appointed to supervise construction activity occurring on the site. The arboricultural supervisor will be responsible for the implementation of protective measures, special surfacing and all works deemed necessary by the approved arboricultural method statement. Where ground measures are deemed necessary to protect root protection areas, the arboricultural supervisor shall ensure that these are installed prior to any vehicle movement, earth moving or construction activity occurring on the site and that all such measures to protect trees are inspected by the Local Planning Authority Arboricultural Officer prior to commencement of development work.

Reason: To ensure protection and long-term viability of retained trees and to minimise impact of construction activity.

13. No development on site shall commence until full details of any exterior lighting proposed (both during construction and operation) have been submitted to and approved in writing by the Local Planning Authority. This should accord with the Institute of Lighting Professionals (ILP) and the Bat Conservation Trust (BCT) bats and artificial lighting guidance note 08/23.

A Lux Plan shall be provided which shows that any external lighting will be strictly directed away from the boundary vegetation and will be kept to below 1 lux within at least 2m from the boundary or avoided completely.

Reason: To ensure that bats and other nocturnal species are not adversely impacted by the lighting.

14. The development shall be carried out in accordance with the measures, conclusions and recommendations set out within Appendix E in the revised Ecological Assessment by Peach Ecology (January 2025). Thereafter, the compensation measures shall be permanently maintained and retained in accordance with the approved details.

Reason: To provide adequate mitigation and enhancement for protected species.

15. Detailed proposals for the disposal of foul and surface water shall be submitted to and approved in writing by the Local Planning Authority before the commencement of the

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development hereby permitted. The approved details shall be fully implemented before occupation of the development hereby permitted.

Reason: To ensure satisfactory provision of foul and surface water drainage.

16. Notwithstanding the submission of approved plan 1223-103, no development beyond damp proof course level shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include:

- Proposed finished levels or contours, in comparison to existing ground levels, including the damp proof course and ground floor of the proposed buildings, and the relationship to the levels of adjacent buildings, together with contours to be formed and earthworks to be undertaken;
- All boundary treatment;
- Hard surfacing materials;
- Existing and proposed finished levels or contours;
- Means of enclosure, including any retaining structures;

Soft landscaping works shall include:

- Planting plans (for new trees, hedges and other planting);
- Written specifications (including cultivation and other operations associated with plant and grass establishment);
- Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate;
- Implementation programme.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs.

17. All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out before the use hereby permitted is commenced and prior to the completion of the development or in accordance with the programme agreed with the Local Planning Authority. If within a period of five years after planting any tree or plant is removed, dies or becomes, in the opinion of the Local Planning Authority, seriously damaged, defective or diseased another tree or plant of the same species and size as that originally approved shall be planted at the same place, within the next planting season, unless the Local Planning Authority gives its written consent to any variation.

Following the removal of the trees hereby consented, new trees shall be planted as shown in the landscape plan provided by TGD Landscape Ltd, ref:- 1223-101 January 2025 and within a period of 2 years. Planting of the new trees shall take place during the planting season between November and February.

The precise size, species, location or period of time will be agreed in writing with the council.

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If, within a period of 2 years from the date of planting, the tree(s) (or any other tree planted in replacement for it) is removed, uprooted, destroyed or dies, another tree of the same size and species shall be planted at the same place, or in accordance with any variation for which the local planning authority give their written consent.

Reason: To maintain the tree cover and the contribution that trees make to the character and amenity of the area and to ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs.

18. Prior to the commencement of the development hereby permitted, detailed information demonstrating that the development will achieve a dwelling emission rate (DER) at least 19% lower than the 2013 Part L Target Emission Rate (TER) (Equivalent of Code for Sustainable Homes Level 4 for Energy) and no more than 105 Litres per person per day predicted internal water use (110 Litres per person per day total) (Equivalent of Code for Sustainable Homes Level 3 / 4) in the form of a 'design stage' Standard Assessment Procedure (SAP) calculation and a water efficiency calculator shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a sustainable form of development consistent with the objectives of The National Planning Policy Framework 2019 and to accord with the requirement of Policy CP11 of the Winchester District Local Plan Part 1 - Joint Core Strategy.

19. Prior to the occupation of the dwelling hereby permitted detailed information (in the form of SAP "as built" stage data and a BRE water calculator) demonstrating that all homes meet the Equivalent of Code for Sustainable Homes Level 4 for Energy and Equivalent of Code for Sustainable Homes Level 3 / 4 for water, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be occupied in accordance with these findings.

Reason: To ensure a sustainable form of development consistent with the objectives of The National Planning Policy Framework 2019 and to accord with the requirement of Policy CP11 of the Winchester District Local Plan Part 1 - Joint Core Strategy.

Informatives:

1. In accordance with paragraph 39 of the NPPF (2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance a site meeting was carried out with the applicant.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:-

Local Plan Part 1 - Joint Core Strategy: DS1, CP1, CP2, CP10, CP11, CP13, CP16, CP17, CP20

Local Plan Part 2 – Development Management and Site Allocations: WIN1, DM1, DM15, DM16, DM17, DM18, DM24, DM29

High Quality Places SPD

NPPF Section 16

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Parking Standards SPD

3. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

4. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served. Where construction site working hours are limited by a planning condition you can apply under Section 74B of the Town and Country Planning Act 1990 which provides a temporary fast track to vary existing conditions.

<https://www.winchester.gov.uk/environment/pollution/construction-sites>

5. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible. For further advice, please refer to the Construction Code of Considerate Practice

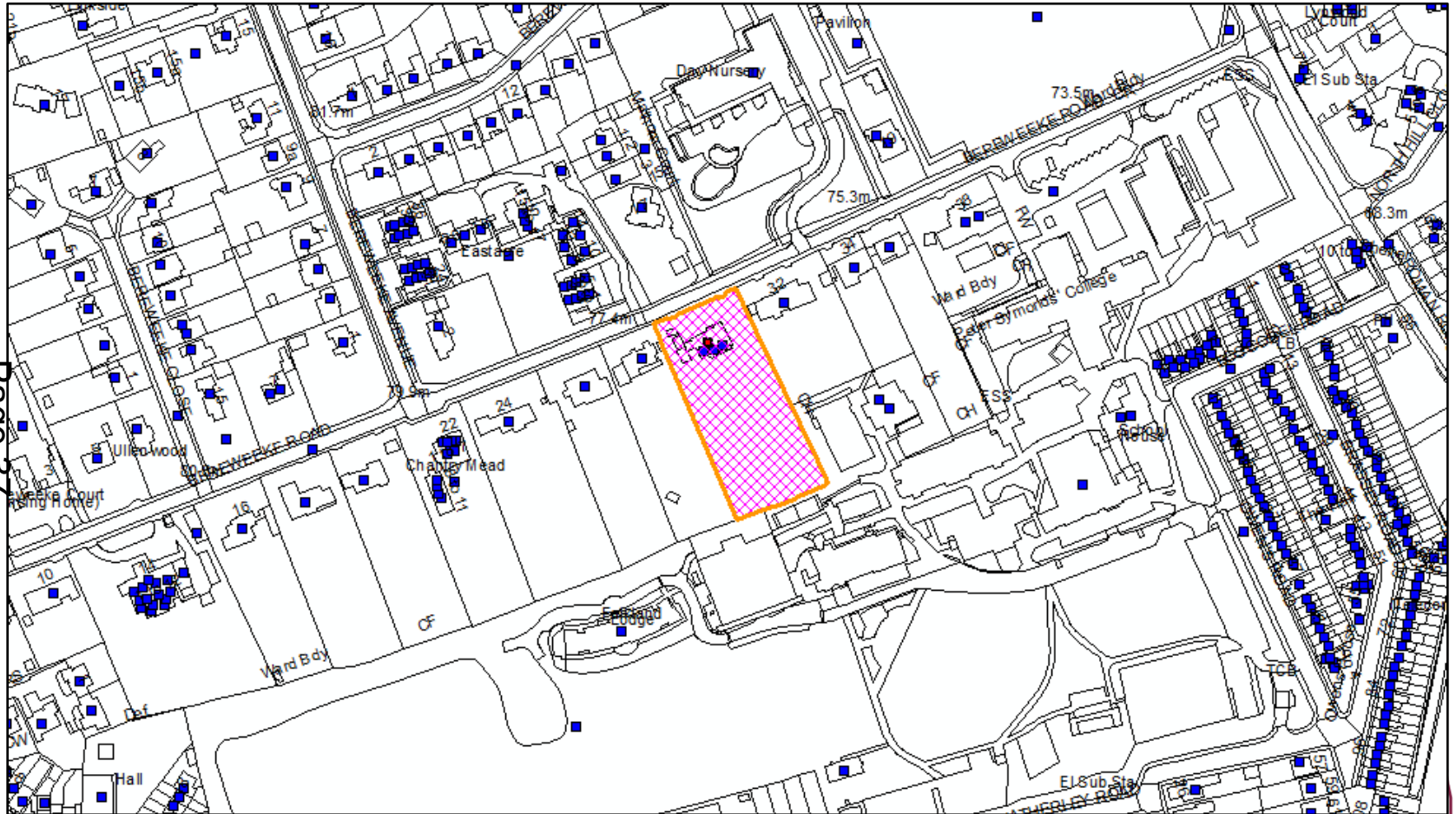
<https://www.considerateconstructors.com/resources/the-code-of-considerate-practice/>

6. Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements (as set out in paragraph 17 of Schedule 7A of the Town and Country Planning Act 1990 and the Biodiversity Gain Requirements (Exemptions) Regulations 2024) are considered to apply as follows:

- The application for planning permission was made before 12 February 2024.

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PROPOSED SITE PLAN



The drawing is a detailed architectural floor plan of a building, possibly a school or institutional facility, overlaid with a complex network of circles and lines. These circles, in various colors (blue, purple, red, green), represent different zones or fields of view, likely for security cameras or sensors. The building's layout includes several rooms, corridors, and a central courtyard area. A prominent yellow-shaded area runs along the top edge of the building. The drawing is annotated with numerous labels and numbers, indicating specific points of interest or equipment locations. A legend in the top right corner explains some of the symbols used. A title block in the bottom left corner contains project information.

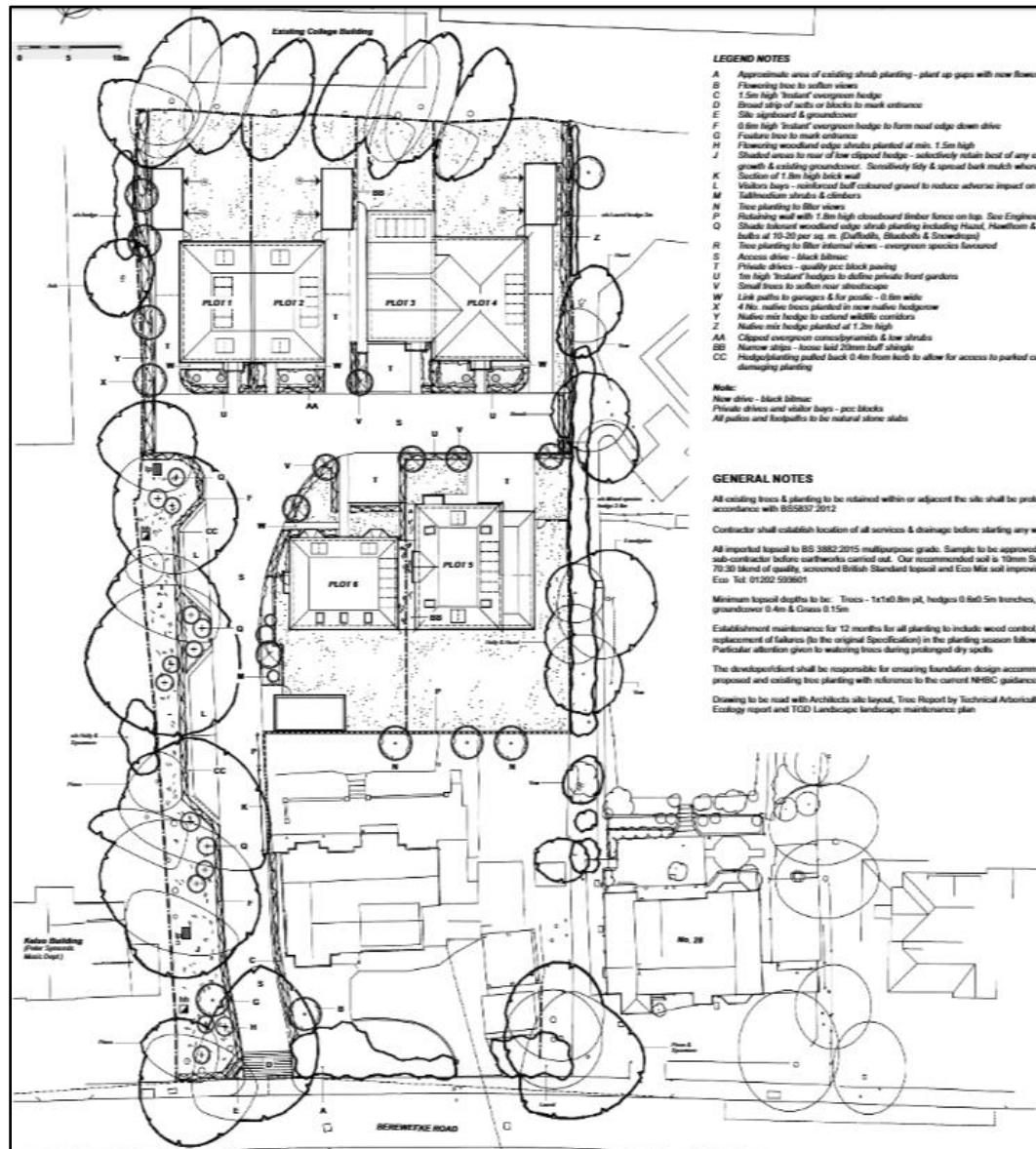
Legend:

- Blue circle: 100' radius
- Purple circle: 200' radius
- Red circle: 300' radius
- Green circle: 400' radius
- Yellow circle: 500' radius
- Blue line: 100' radius
- Purple line: 200' radius
- Red line: 300' radius
- Green line: 400' radius
- Yellow line: 500' radius

Title Block:

Project: [illegible]
 Date: [illegible]
 Drawn by: [illegible]
 Checked by: [illegible]
 Approved by: [illegible]

LANDSCAPING PLAN



PLOTS 1 AND 2 PLANS AND ELEVATIONS



PLOTS 1 AND 2 PLANS AND ELEVATIONS



PLOT 5 PLANS AND ELEVATIONS



South Elevation
Scale: 1:100



North Elevation
Scale: 1:100



West Elevation
Scale: 1:100



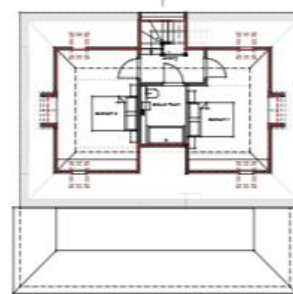
East Elevation
Scale: 1:100



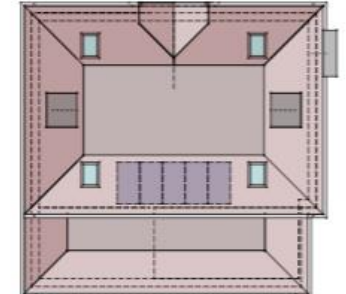
Ground Floor Plan
Scale: 1:100



First Floor Plan
Scale: 1:100

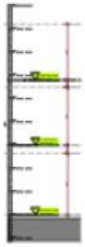


Second Floor Plan
Scale: 1:100



Roof Plan
Scale: 1:100

PLOT 5 PLANS AND ELEVATIONS



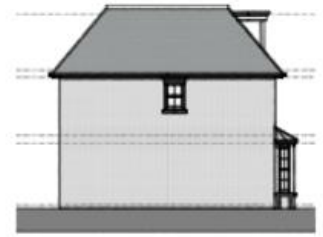
South Elevation
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North Elevation
Scale: 1:100



East Elevation
Scale: 1:100



West Elevation
Scale: 1:100



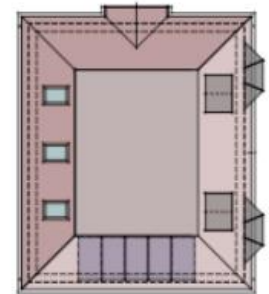
Ground Floor Plan
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First Floor Plan
Scale: 1:100

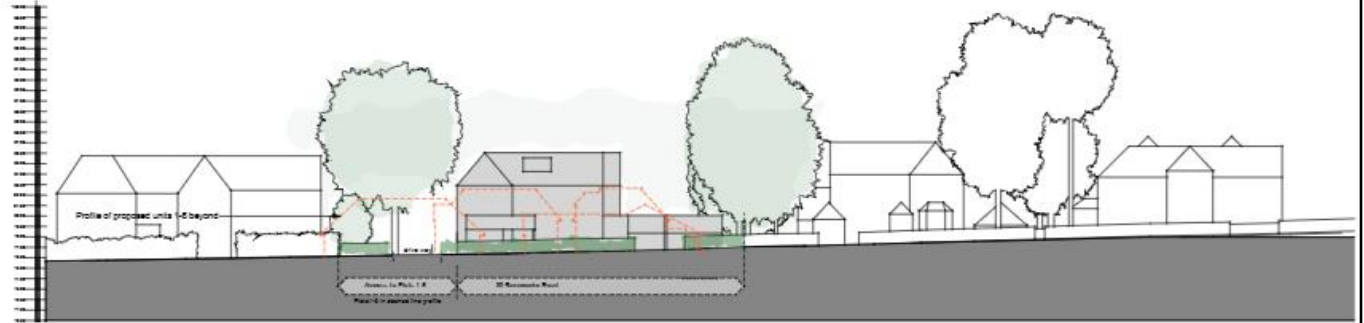


Second Floor Plan
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Roof Plan
Scale: 1:100

SECTIONS AA, BB, DD



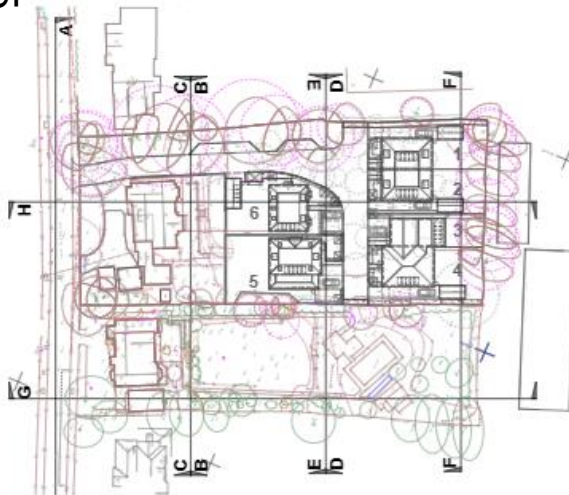
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B Section BB
Scale: 1:200



D Section DD
Scale: 1:200



Key Plan
Scale: 1:500

SECTIONS CC, EE, FF



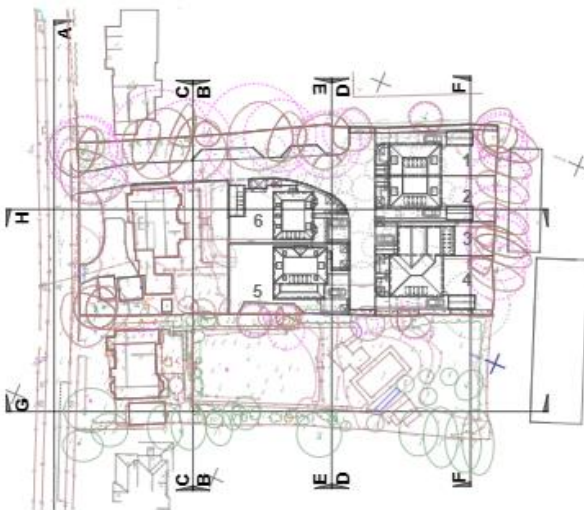
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E Section EE
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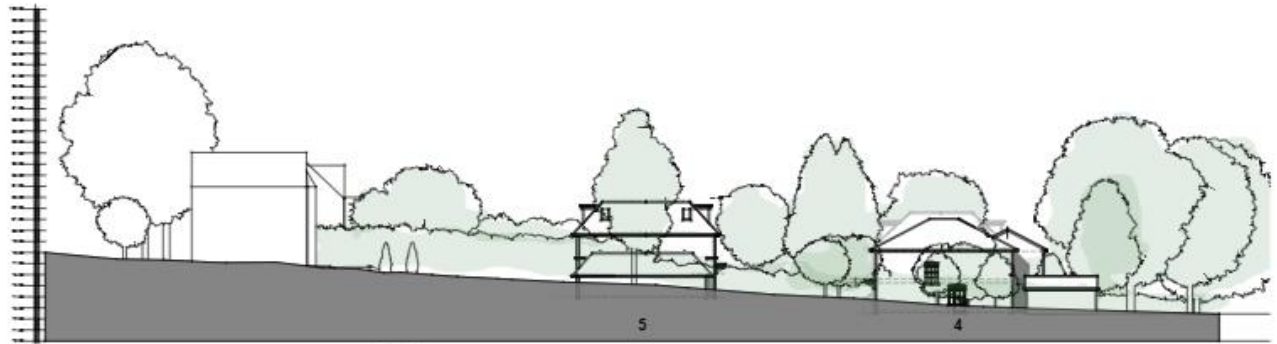


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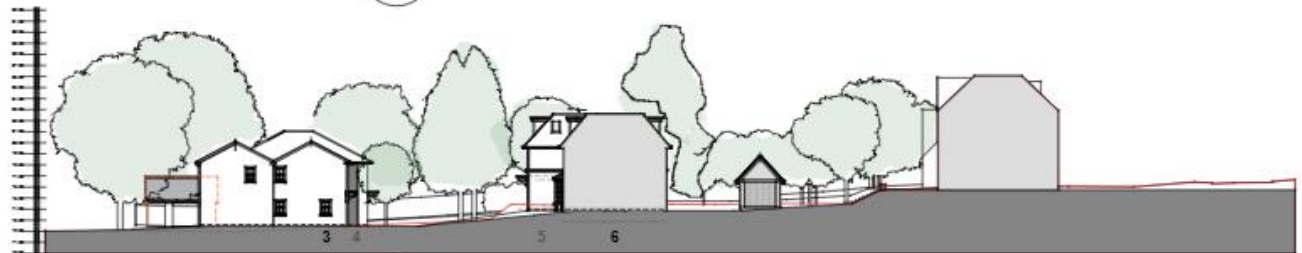


Key Plan
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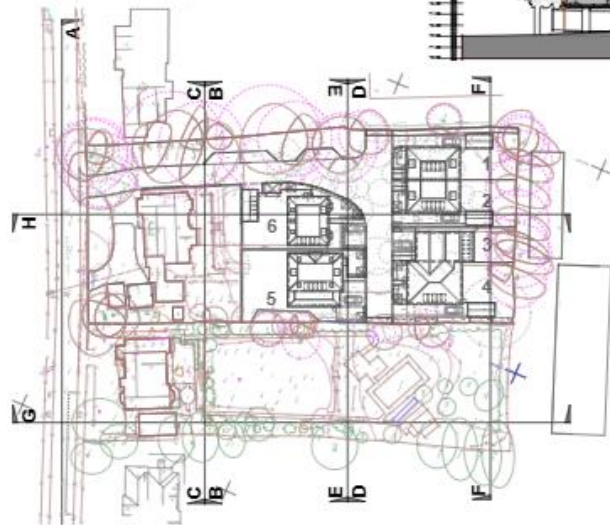
SECTIONS GG, HH



G Section GG
Scale: 1:200



H Section HH
Scale: 1:200



SITE PHOTOS – EXISTING DWELLING



SITE PHOTOS – EXISTING DWELLING



SITE PHOTOS – EXISTING DWELLING

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SITE PHOTOS – EXISTING DWELLING



SITE PHOTOS – REAR GARDEN



SITE PHOTOS – REAR GARDEN



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SITE PHOTOS – REAR GARDEN



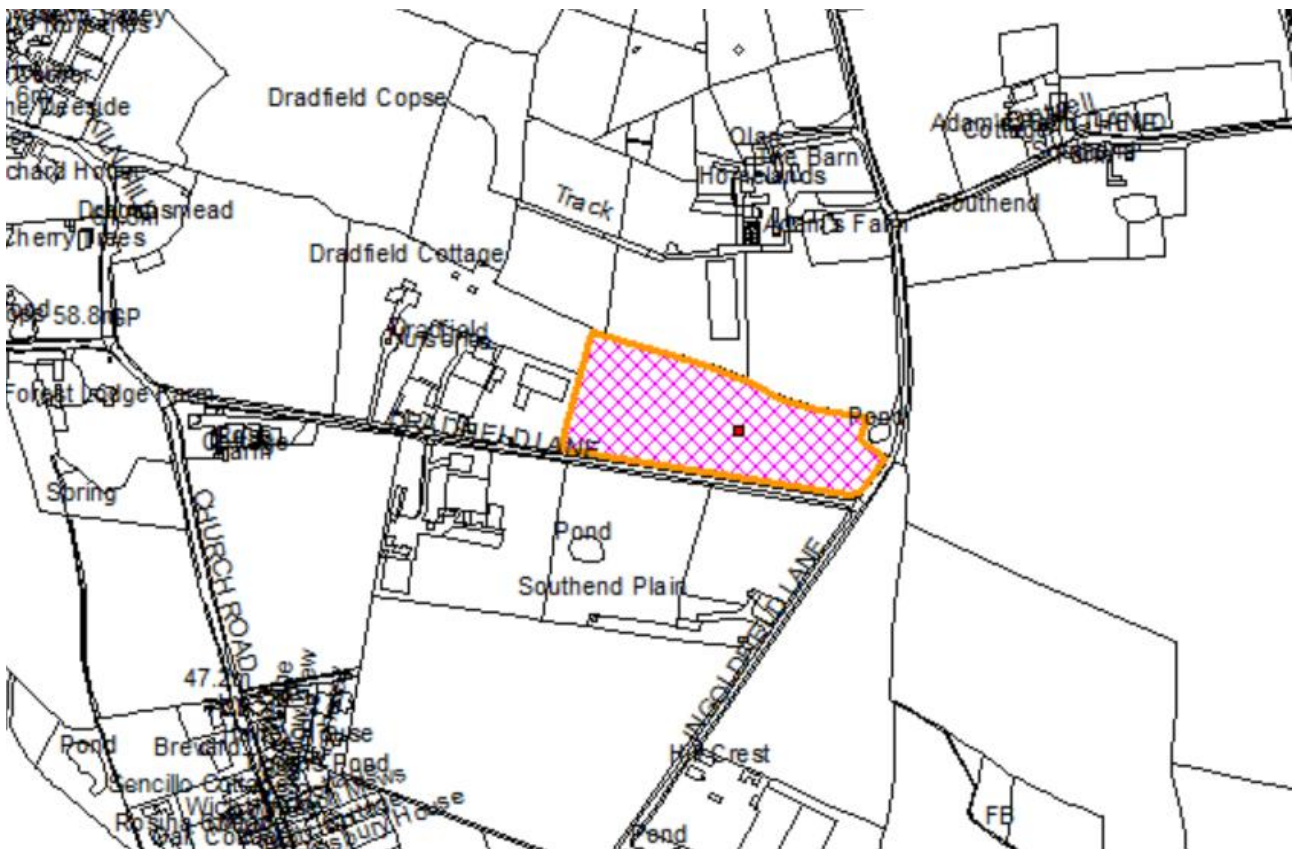
WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

Case No:	24/00881/FUL
Proposal Description:	Retrospective planning application for an agricultural polytunnel and solar battery and animal feed store (resubmission of application 21/01858/FUL).
Address:	Emlyns Dradfield Lane Soberton Southampton Hampshire
Parish:	Soberton Parish Council
Applicants Name:	Mr Nick Butler
Case Officer:	Rose Chapman
Date Valid:	5 July 2024
Recommendation:	Approve
Pre Application Advice	Yes

Link to Planning Documents

Link to page – enter in reference number 24/00881/FUL

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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Reasons for Recommendation

The development is recommended for permission as it is considered that it will not have a harmful impact on the character of the area in accordance with Policies DM23 and DM16 of the LLP2 and would not harm neighbouring residential amenity in accordance with policy DM17 of the LPP2.

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General Comments

The application is reported to Committee due to the number of Objections received contrary to the Officer's recommendation.

Amendments to Plans Negotiated

Additional drainage plans have been submitted for clarification. These show the existing drainage ditches and how they meet up with the external drainage systems in the area.

Site Description

The application site is located in a rural area measuring approximately 1.7ha in size. The site is largely flat and is in use as a small holding. The site is bounded by mature trees and hedges on all sides.

Proposal

The application is for the retention of the poly tunnel and a feed storage building. The poly tunnel is located to the western end of the site and is being used to grow vegetables. The feed storage building is located along the northern boundary and includes solar panels and battery storage.

The application is partially retrospective as the structures are in place and in use however the feed storage building has not yet been clad.

Relevant Planning History

20/01508/FUL - Retrospective planning permission for an improved site access with new 2.05m high timber entrance gates, 1.8m high close boarded support and associated hardstanding and works. – refused 11.09.2020 appeal dismissed

21/01858/FUL - Improved farm access (retrospective), with the erection of 1.75m high oak access gates and polytunnel. – refused 21.03.2022 appeal dismissed

Consultations

Service Lead – Engineering (Drainage) -

- No objection

Service Lead – Sustainability and Natural Environment (Ecology) –

- No objection

Service Lead – Sustainability and Natural Environment (Landscape) –

- No objection

Representations:

Soberton Parish Council:

Soberton Parish Council object to all elements of this retrospective planning application for the following reasons:

Loss of native hedgerow and replacement in a different location. The replacement hedge should as far as possible follow the alignment of the section of hedge removed.

We note that the act of removing the existing native hedge was carried out without approval.

The gates, prior to the erection of the current gate which is out of character locally was a simple field gate.

Replacement gates should reflect the local agricultural character that of a simple 'field' gate either in timber or galvanised steel.

The overall width of the replacement hedge and gates should minimise the width of the gateway and allow normal 'farm' access, excessive concreted areas should be removed.

The polytunnel, we have previously sought clarification as to the status of this structure i.e. seasonal or permanent? If the structure is to be permanent, we object on visual and landscape grounds and feel that such an application requires to be supported by a Landscape and Visual Assessment (LVIA). It is clear that the area of visual impact is wide and includes both footpaths, roads and impact on the amenity those who live in the area.

Kind regards

Brendan Gibbs

Clerk to Soberton Parish Council

10 Objecting Representations received from different addresses citing the following material planning reasons:

- previous appeal decision
- retrospective application
- visual impact of the polytunnel
- outdated information submitted
- would set a precedent
- impact on hedgerow
- flooding
- nitrates

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (December 2024)

- 2. Achieving sustainable development
- 4. Decision-making
- 8. Promoting healthy and safe communities
- 9. Promoting sustainable transport
- 11. Making effective use of land
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change
- 15. Conserving and enhancing the natural environment

National Planning Practice Guidance

- Biodiversity net gain
- Climate change
- Consultation and pre-decision matters
- Effective use of land
- Enforcement and post-permission matters
- Flood risk and coastal change
- Light pollution
- Natural environment
- Use of planning conditions
- Water supply, wastewater and water quality

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- DS1 – Development strategy and Principles
- MTRA1 – Development Strategy Market Towns and Rural Area
- MTRA3 – Other Settlements in the Market Towns and Rural Area
- MTRA4 – Development in the Countryside
- CP12 – Renewable and Decentralised Energy
- CP13 – High Quality Design
- CP15 – Green Infrastructure
- CP16 – Biodiversity
- CP17 – Flooding, Flood Risk and the Water Environment
- CP19 – South Downs National Park
- CP20 – Heritage and Landscape Character

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM1 – Location of New Development
- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking
- DM23 – Rural Character
- DM24 – Special trees, Important Hedgerows and Ancient Woodlands

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Soberton Village Design Statement

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.

Nature Emergency Declaration.

Statement of Community Involvement 2018 and 2020

Planning Considerations

Principle of development

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF, 2021) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The Regulation 19 Local Plan has now agreed by Full Council can be given appropriate and increasing weight in the assessment of development proposals in advance of Examination and Adoption.

The site is located outside of a settlement boundary and therefore is in the countryside for the purposes of planning policy. Policy MTRA3 allows for limited development within settlements that have no settlement boundary such as Soberton. The proposal would not meet the requirements of this policy as it would not result in development within a continuously developed road frontage.

Policy MTRA4 restricts development within the countryside that does not meet with MTRA3 to that which has an operational need for a countryside location such as agriculture. The application is for the retention of a poly tunnel and a feed storage building for the use of the small holding. Therefore, the proposal is considered to be related to agriculture and would meet with the requirements of policy MTRA4.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations; therefore an Environmental Impact Assessment is not required.

Impact on character and appearance of area

The proposal would see the retention of the polytunnel and feed storage building. The poly tunnel was considered under the previous application and appeal. The structure is approximately 25m long by 4m high and approximately 11m wide at the base. The building is covered with flexible plastic attached to a wooden frame and is located close to the entrance of the site close to the existing cluster of buildings. It is noted that there are other structures within the compound which have been considered as part of ongoing

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monitoring and assessment of the site and prior appeals and are therefore not part of this planning application.

It is noted that the polytunnel can be seen in wider, long distance views and concerns have been raised in relation to this. However, as the structure is for the purposes of agriculture, on an agricultural site and is of an agricultural design this is not considered to be out of keeping with the character of the area. This view is supported within the previous appeal decision (21/01858/FUL).

The feed store building is a modest building at approximately 2.1m in height and 3m by 3m in size. currently the building is not finished and no information regarding finishing materials have been submitted, as such a condition asking for details of finishing materials has been suggested (condition 2).

Neither building is readily visible in the street scene.

The proposal is therefore considered to be acceptable in this respect in accordance with Local Plan policy.

Development affecting the South Downs National Park

The application site is located 0.4 km from the South Downs National Park.

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2023. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Concerns have been raised in regard to the views from the National Park. It is considered that the structures are for the purposes of agriculture, on an agricultural site and are of an agricultural design this is not considered to be out of keeping with the character of the area and will not adversely impact the setting of the national park.

In conclusion the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

Historic Environment

No Impact, the works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

Neighbouring amenity

Dradfield Cottage is located to the north west of the site and Adam's Farm is located to the north. Both these neighbours houses are located over 100m from the boundary with the

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application site. As such it is not considered that the proposal would result in overbearing, overlooking or loss of light to neighbouring properties.

Therefore, the proposal complies with policy DM16 and DM17.

Sustainable Transport

The proposal will have no impact on highway safety/amenity/traffic generation/air quality/sustainable travel/parking ratio/standards due to the modest nature of the development. It is not considered that the proposal would result in additional traffic movements above the existing.

Therefore the proposal complies with policy CP10 and DM18.

Ecology and Biodiversity

Dradfield Copse SINC is located approximate 100m to the north west of the site, Due to the distance from the SINC it is not considered that the proposal would have a detrimental impact on the protected habitat or species within the SINC.

The site is home to the brown hairstreak butterfly which is rare. The proposal has not resulted in a loss of hedging and therefore the proposal would not result in harm to the protected species.

It is noted that previous applications have considered the loss of hedging. This has been resolved and management plans for the protected habitat have been submitted and are being assessed by officers.

Therefore, the proposal complies with policy CP16.

Concerns have been raised in regard to nutrient neutrality. The proposal would not result in additional overnight accommodation and therefore the need for nutrient mitigation is not required for this application.

Sustainable Drainage

Previously concerns have been raised in relation to the cumulative impact of surface water run off from the site. A revised drainage layout has been submitted demonstrating the drainage ditches that have been implemented. These hold and distribute the surface water generated on the site in a sustainable manner preventing the cumulative impacts of flooding off the site.

The drainage on site would store up to 49 cubic metres of water and will discharge at a rate of 2ltrs per second which is considered acceptable. The previous application raised concerns regarding the water run off relating to the poly tunnel, the current submission documents clearly show that there is sufficient space on the site to retain and distribute water without causing issue off site. With the poly tunnel generating 11 cubic metres of water which can be held on site and distributed at an acceptable rate.

The feed store is modest and would generate a minimal amount of surface water. It is considered that the drainage works on site have capacity to accommodate the additional built form without causing harm.

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It is considered that while the information submitted in regard to the drainage is acceptable information regarding the maintenance is required to prevent the drainage becoming blocked and incurring flooding on the site. This is secured under condition (3)

Therefore the proposal complies with policy CP15, CP17 and DM15.

Trees

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term.

The site is bounded by mature trees and hedging.

Due to the distances involved it is not considered that there will be an adverse impact on the trees during the long term use of the development.

The proposal will therefore comply with policy DM24.

Other Topics

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The application is for the retention of the poly tunnel and a feed store with solar panels. The poly tunnel and store are considered to be agricultural and would be of a design and size that would be expected within a countryside location. Therefore, would not result in harm to the character of the area.

The structures are located away from shared boundaries with residential neighbours and therefore do not result in harm via overlooking, overbearing or loss of light.

The proposal would not result in harm to biodiversity, trees or hedges.

The application is supported by accurate drainage information that demonstrates that the implemented drainage would be sufficient to prevent flooding in and around the site.

The application is therefore in accordance with the Development Plan.

Recommendation Permit subject to the following conditions:

Conditions

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1. The development hereby approved shall be constructed in accordance with the following plans:

Document ref: 25012 – letter from Aqua Callidus dated 10th February 2025

Drawing Number: 001 – location plan

Drawing Number: 002 – Proposed site plan

Drawing Number: 003 – Proposed elevations Poly tunnel, battery and feed store

Drawing number: 004 – Proposed floor plan – poly tunnel, battery and feed store

Drawing number: 8504/01 – topographic survey

Reason: For the avoidance of doubt, to ensure that the proposed development is carried out in accordance with the plans and documents from which the permission relates to comply with Section 91 of the Town and Country Planning Act 1990.

2. No development shall take place above the damp proof course until details and samples of the materials to be used in the construction of the external surfaces of the development hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure that the development presents a satisfactory appearance in the interests of the amenities of the area.

3. Within 3 months of the date of this permission a drainage maintenance plan shall be submitted to the Local Planning Authority for approval. The drainage Plan shall include:

- How the on and off site drainage ditches shall be kept clear
- How often clearance works will take place

The drainage maintenance plan approved will be implemented immediately upon approval and all ditches shall be maintained in accordance with the approved plan in perpetuity.

Reason: To ensure satisfactory provision of surface water drainage in a sustainable way.

Informatives:

1. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out below, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:-

Local Plan Part 1 Joint Core Strategy: DS1, MTRA3, MTRA4, CP15, CP16

Local Plan Part 2: DM1, DM15, DM16, DM17, DM24

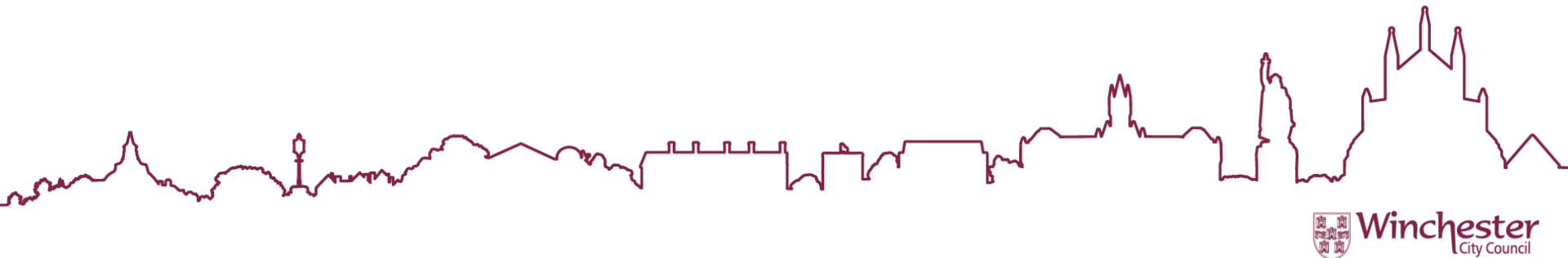
WINCHESTER CITY COUNCIL
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3. In accordance with paragraph 38 of the NPPF Winchester City Council (WCC) take a positive and proactive approach to development proposals focused on solutions. WCC work with applicants/agents in a positive and proactive manner by;

- offering a pre-application advice service and,
- updating applications/agents of any issues that may arise in the processing of their application and where possible suggesting solutions.

24/00881/FUL
Emlyns, Dradfield Lane, Soberton, Southampton
Hampshire, SO32 3QD

Retrospective planning application for an agricultural polytunnel and solar battery and animal feed store (resubmission of application 21/01858/FUL).









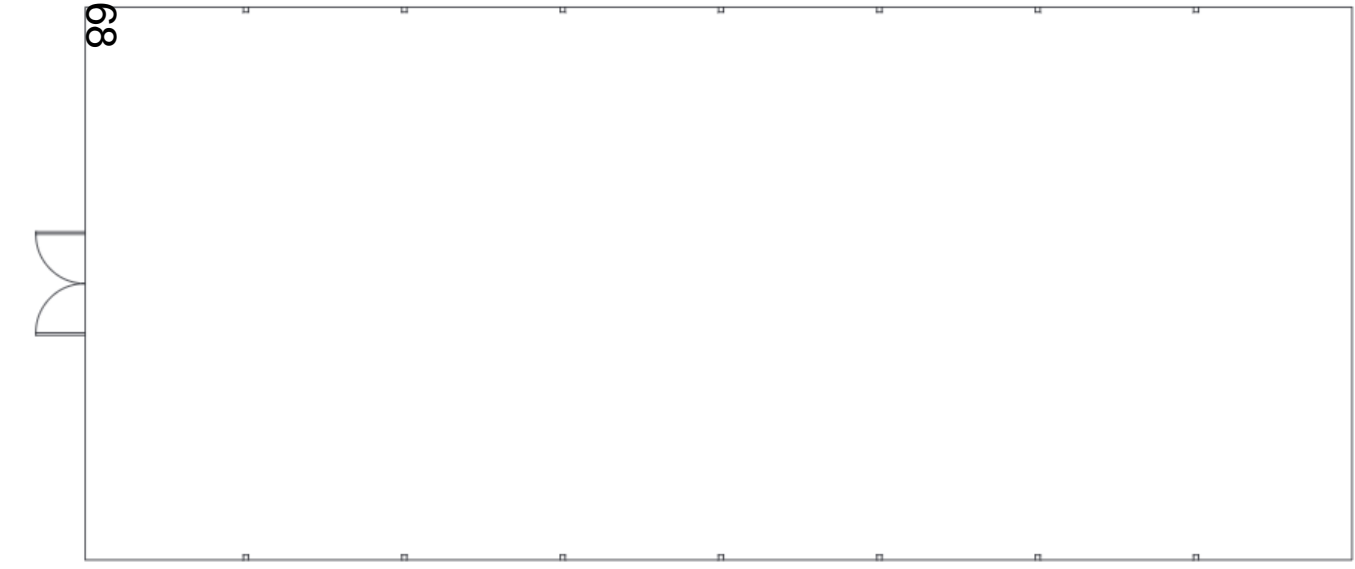
Rear Elevation

Side Elevation



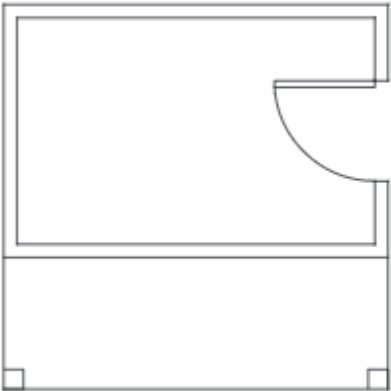
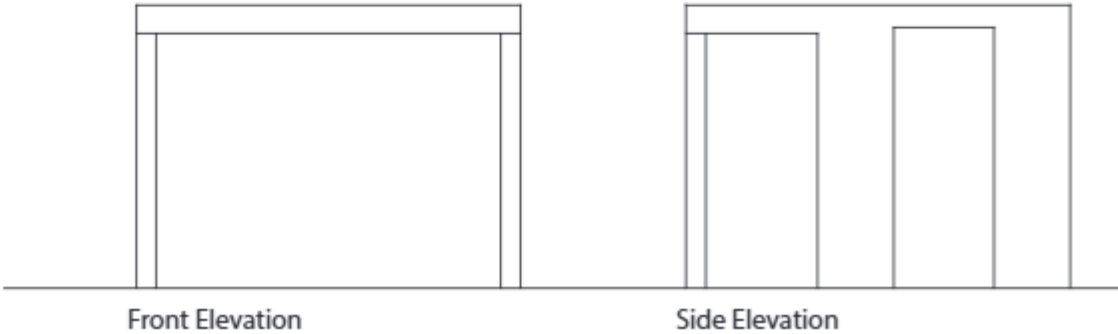
Front Elevation

Side Elevation



Polytunnel





Battery and feed store-
1:50



View Of polytunnel from
east of site



View Of polytunnel and
storage building from east of
site



View of the proposal
looking north east



View of the drainage channels
along the side of the polytunnel



View of the drainage channels
along the side of the polytunnel



View of storage building



View of storage building



View inside of storage building



Site drainage toward Dradfield Lane ditches

RECOMMENDATION - PERMIT

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Proposal complies with Local Plan policies as
is laid out within the report.

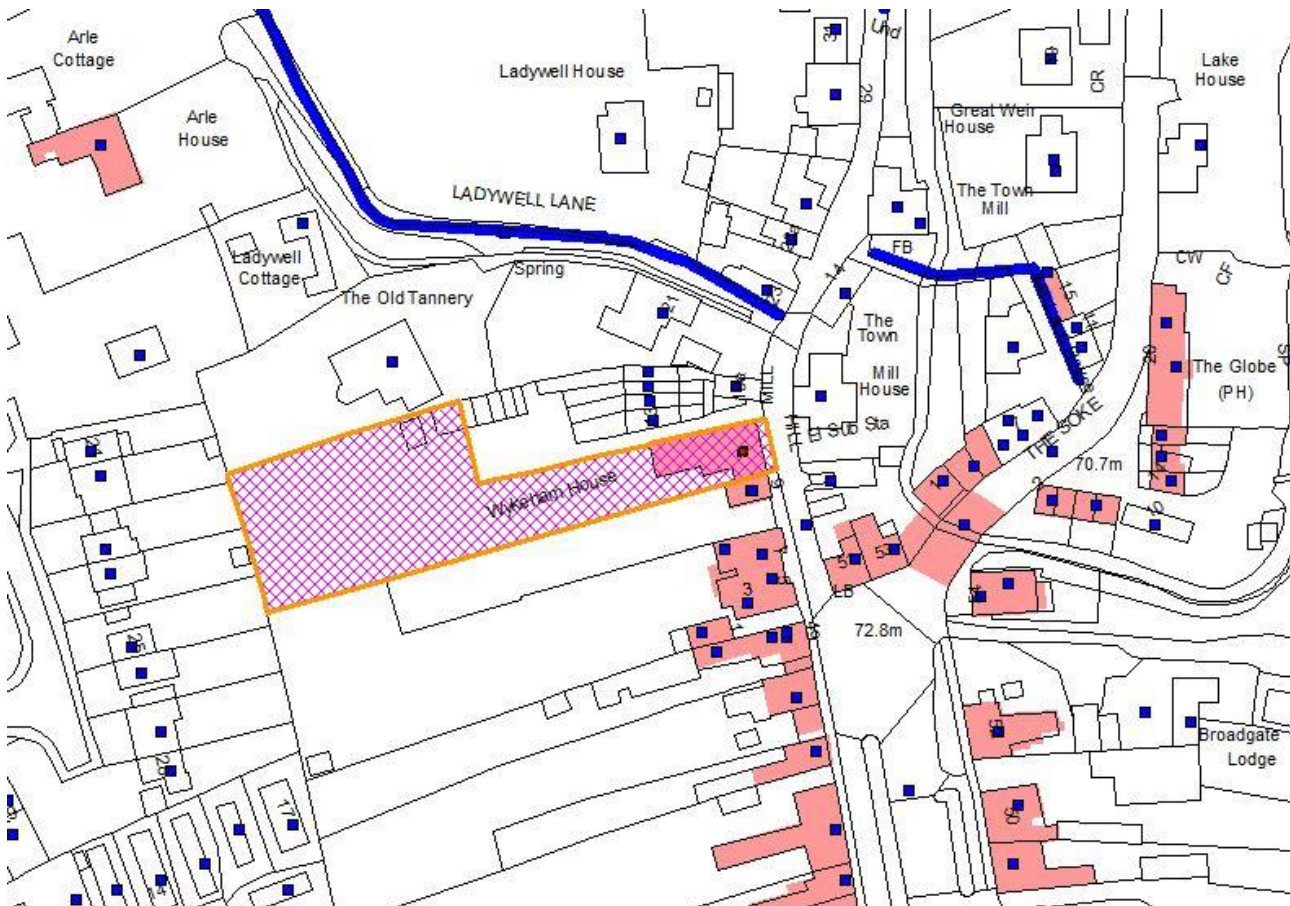
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Case No: 24/02762/HOU
Proposal Description: Part single, part 2 storey extension, fenestration changes, minor internal and repair works
Address: Wykeham House 11 Mill Hill Alresford Hampshire SO24 9DD
Parish, or Ward if within Winchester City: New Alresford Town Council
Applicants Name: Mr and Mrs Clark
Case Officer: Cameron Taylor
Date Valid: 19 December 2024
Recommendation: Permit
Pre Application Advice Yes

Link to Planning Documents

[Link to page – enter in reference number 24/02762/HOU](#)

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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Reasons for Recommendation

The development is recommended for permission as it is considered that it is acceptable in terms of its impact on the character of the area including heritage assets and would not harm neighbouring residential amenity and complies with the policies of the adopted Development Plan.

General Comments

The application is reported to Committee due to the Ward Councillor Power has requested for the application to be determined by Planning Committee, based upon material planning considerations is shown in Appendix 1

This application runs concurrently with a listed building application- 24/02763/LIS

Amendments to Plans Negotiated

Revised plans have been received that show the updated roof form on the extension as there was inconsistency across the plans. The revised plans have a half-hip roof form, with the initial roof plan and north elevation plan showing a gable end. As the revised plans were to address an inconsistency with other plans showing the correct roof form and the amendment being small in nature, readvertisement was not undertaken.

Site Description

The site is located to the east of Mill Hill that is situated just off Broad Street within the New Alresford Conservation Area. The principal elevation fronts Mill Hill with the garden situated behind the dwelling to the west. The dwelling is a Grade II listed building. There is a private access that runs to the north of the site along its northern boundary. The access serves the parking to the site along with the neighbouring properties to the north of the site.

The area consists of residential properties surrounding the site that include other Listed Buildings. The dwellings in the area are typically two-storey dwelling with a variety of semi-detached and terraced properties, with examples of larger detached dwelling in the wider area. The site has tall brick boundary walls that run along its north and south boundaries with mature vegetation that also runs along the boundaries.

The existing property is a two-storey semi-detached dwelling, the property is a 17th century house that has seen various alterations over the time with the most recent changes dating to the mid/late 20th century.

Proposal

The application seeks a part single and part two-storey extension to the dwelling, fenestration changes, along with minor internal and repair works. The proposed extensions project off the 1960s rear extension that comes off the west elevation of the historic dwelling. The two-storey element comes off the west elevation with the single-storey extension projecting partly off the south elevation of the existing 60s extension and the southern part of the proposed two-storey extension. The development includes fenestration changes and changes to the doors around the dwelling. The changes include the infilling of 2 existing openings and creation of 2 new windows at the first-floor level of the 60s extension along the north elevation. The relocation of an existing door at the ground level. Modifications to the existing openings at the ground floor level on the south elevation on the 60s extension. A new timber door to the historic building on its west elevation within an existing opening. The repair works includes the removal of modern

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coverings to the north and east elevation, along with the bitumen felt roof and with these to be replaced with more appropriate materials. The proposal does include internal alterations to all floor levels across the dwelling, both within the historic dwelling and the more modern 60s extension to the rear. The plans also include the reforming of the wall to the front of the dwelling adjoining Mill Hill.

Relevant Planning History

-83/00368/OLD- Internal alterations and installation of two windows to north and south elevations- Permitted 20.05.1983

-77/00847/OLD- Change of use from residential to window to display portrait photographs- Refused 25.05.1977

Consultations

Service Lead – Built Environment (Archaeology) -

- No objection and no conditions

Service Lead – Built Environment (Historic Environment) –

- No objection subject to conditions

Service Lead – Sustainability and Natural Environment (Ecology) –

- No objection subject to conditions

Naturespace

- No objection subject to informative

Representations:

Councillor Margot Power- Alresford & Itchen Valley- Referral letter appended under Appendix 1.

“Requests that the item be considered by the Planning Committee for the following material planning reasons: Although direct sunlight tracking has been provided this does not take into account the loss of indirect light to 13 Mill Hill, and is therefore contrary to DM17: ‘does not have an unacceptable adverse impact on adjoining.....property.’. DM16. Although obscure glass could be conditioned windows can be opened, and a north facing window is immensely valuable in the very hot summers we now experience. A consequence will be a direct view into the dining room on 13 Mill Hill. DM27 requires development to conserve or enhance the character of an area. The extension will prevent maintenance to one side of the brick and flint wall, assurance is sought that this will not affect the structural integrity of this wall.”

New Alresford Town Council- Support

“We support this application, in particular due to the replacement of 20th century additions with original features.”-Copy in full or append if call in

3 Objecting Representations received from different addresses citing the following material planning reasons:

- Impact upon property
 - o The change to the front wall is not needed with suitable visibility already
- Residential Amenity Impacts
 - o Loss of light
 - o Loss of privacy
- Impact upon the conservation area

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- No information submitted assessing the impact upon the Conservation Area.
- Disruption and damage during the construction to the private access
- Non-material planning issues
 - Impact property value

Comments noting how the proposed development would impact the property value of neighbouring properties. I note this is not a material planning consideration and therefore has not been taken into account during my assessment.

Comments have been received noting construction times and being considerate towards neighbouring properties, informative 4-6 attached address the construction being considerate towards neighbouring properties.

4 & 1 out of the Winchester district Supporting Representations received from different addresses citing the following material planning reasons:.

- Restoration of the listed building
- Respects the historic character of the listed building

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (December 2024)

- 4. Decision-making
- 15. Conserving and enhancing the natural environment
- 16. Conserving and enhancing the historic environment

National Planning Practice Guidance

Climate Change
Consultation and pre-decision matters
Design: process and tools
Environmental Impact Assessment
Planning Obligations
Use of planning conditions

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- MTRA 2 - Market Towns and Larger Villages
- CP13 - High Quality Design
- CP16- Biodiversity
- CP20 - Heritage and Landscape Character

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM15 - Local Distinctiveness
- DM16 - Site Design Criteria
- DM17 - Site Development Principles
- DM27 - Development in Conservation Areas
- DM29 - Heritage Assets

Supplementary Planning Document

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National Design Guide 2019
High Quality Places 2015
Air Quality Supplementary Planning Document 2021
New Alresford Design Statement

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.
Nature Emergency Declaration.
Statement of Community Involvement 2018 and 2020

Planning Considerations

Principle of development

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF, 2024) requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The Regulation 19 Local Plan, as now agreed by Full Council, can be given appropriate and increasing weight in the assessment of development proposals in advance of Examination and Adoption as set out in paragraph 49 of the NPPF.

The site is located within the settlement boundary of New Alresford where the principle of development is acceptable, provided it is in accordance with the policies of the development plan.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

Impact on character and appearance of area

The property is a Grade II listed building dating back to the 17th century for a timber framed structure that has had various alterations and uses over time. The most recent changes being dated to the mid/late 20th century. The assessment will be broken down into 3 sections, the first being the extensions, the second being the fenestration and doors with the third section being the repair works and internal changes.

The proposed extensions to the dwelling both project off the 1960s extension to the rear of the original dwelling, with the addition of a dormer window on the south elevation. The two-storey element projects approximately 3.8 metres off the west elevation and will be visible from the public realm down the private access. The proposal matches the overall scale, height and roof form of the existing two-storey element, with the additional dormer window matching the scale and appearance of the existing dormer on the south elevation. The external finish of the two-storey is proposed to use materials to match the existing building. The proposal includes the addition of 2 single-storey extension elements, the first projecting off the west elevation of the proposed two-storey extension and sited centrally on this elevation. The other single-storey extension projects off the south elevation, connecting with the proposed two-storey extension and existing two-storey part of the dwelling, but retains a gap to the southern boundary. The single-storey extension shows subservience through its single-storey build, flat roof and glazed lightweight appearance,

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allowing views through it towards the rear of the listed building. To ensure the materials used in the external finish are acceptable, condition 3 is attached that required the submission of full details prior to the commencement of works. Therefore given the scale and appearance of the proposed extensions subject to the details of the materials, it is considered acceptable.

The fenestration changes includes the infilling and then the creation of 2 new window openings at the first floor level on the north elevation, these are situated within the 1960s extension and are moved further to the rear but retain an overall scale similar to those being infilled. At the ground floor towards the original dwelling are 2 existing 20th century windows that are proposed to be replaced with new timber windows that match the scale and appearance of the existing. With changes to the existing doorway on the north elevation to provide easier access. To the south elevation the fenestration changes includes the modification of a modern existing opening with new Crittall style glazing. There is the additional replacement of modern glazing with new glazing, this includes the lowering of a 3 bay window with the door alongside it also being replaced. The proposal also includes the modification of an existing opening to create a new doorway as a means of escape from the basement. The only change to the west elevation is the replacement of the ground floor door that is located close to the southern boundary. The fenestration and doors remain are typically located within the more modern extension and replace the more modern features, matching their overall scale and appearance. Therefore the proposed fenestration and door change are considered acceptable.

The repair works to the building includes the removal of unbreathable acrylic paint on the east elevation and the removal of sand and cement render on the north elevation, these are proposed to be replaced with a lime render with limewash decoration. The small section of bitumen felt roof to the rear is proposed to be removed which is acceptable subject to appropriate replacement which is to be secured by pre-commencement condition.

The internal alterations include the extending of modern brick steps and the removal of a low level plinth to allow for the escape door along the basement stairs. This is minimal and impacts the modern fabric, therefore is considered acceptable. The alterations at the ground floor level include the reforming of a modern plasterboard wall to create a radius wall near the historic staircase, which is considered to be minor and acceptable. The ground floor internal alterations includes a layout change, however this itself is situated within the existing modern extension and does not impact historic fabric. At the first floor level the internal alterations to the original dwelling includes a new partition wall and the removal of modern panelling to be replaced with lime plaster, with the closing up of existing openings and the re-opening of an existing doorway from the hallway. These works are internal and not visible from the public realm and are considered to be acceptable.

Therefore, the proposal complies with policies DS1 and CP13 of the LPP1 and DM1, DM15 and DM16 of the LPP2.

Development affecting the South Downs National Park

The application site is located over 1.5km from the South Downs National Park

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks
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have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

Historic Environment

The site lies within the historic medieval settlement of Alresford and forms a medieval burgrave plot to the west of the historic marketplace. The proposed extension is attached to a mid/late 20th century extension within the backlands area of the burgrave plot. Consultation was undertaken with the archaeologist, and it is considered the proposal will not have an impact upon the surrounding archaeology. The proposal therefore complies with policy DM26 of the LPP2.

The development is within the curtilage of a Grade II listed building which forms part of the setting of number of designated heritage assets including the New Alresford Conservation Area. The following legislation and policies are taken into account in the assessment and determination of this planning and listed building application.

Relevant Legislation

The preservation of the special architectural/historic interest of the listed building and its setting (S.66 P(LBCA) Act 1990; Policy DM29 & DM30 of the Winchester District Local Plan Part 2 Adopted 2017; Policy CP20 Winchester District Joint Core Strategy; NPPF (2023) Section 16.

The preservation or enhancement of the character or appearance of the conservation area (S.72 P(LBCA) Act 1990; Policies DM27 & DM28 of the Winchester District Local Plan Part 2 Adopted 2017; Policy CP20 Winchester District Joint Core Strategy; NPPF (2024) Section 16.

Guidance

Where dealing with listed buildings, decision makers are required to have due regard to the “desirability of preserving the [Listed] building or its setting or any features of special architectural or historic interest which it possesses.” under Section 16/66 of the Planning (Listed Buildings and Conservation Areas Act 1990). Case law has established that where an authority finds that a development proposal would harm the setting of a listed building, it must give that harm “considerable importance and weight”.

Where dealing with conservation areas, decision makers are required to pay special attention to the “desirability of preserving or enhancing the character or appearance of that area.” under Section 72 of the Planning (Listed Buildings and Conservation Areas Act 1990).

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Due regard has been given to these requirements, as set out in the Historic Environment consultation response and assessment within this report.

The historic environment section of the Planning Practice Guidance further outlines the role of the Local Planning Authority in considering the effects of new development that are in the vicinity of or affect the setting of listing buildings and heritage assets. Paragraph 205 of the NPPF advises that great weight should be given to the conservation of a heritage asset in considering the impact of a proposal on its significance (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Paragraph 206 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Policy CP20 of WDLPP1 and Policy DM29 of WDLPP2 ensure that development preserves and enhances heritage assets and their settings.

Wykeham House is a Grade II listed building located to the west of Mill Hill just off Broad Street within the New Alresford Conservation Area. It is a two-storey building with the oldest parts of the building dating back to the 17th century. The building has had various alterations and uses over time with its most recent changes dating to the mid/late 20th century.

The proposed development has elements that will impact both the external and internals of the listed building along with the extensions to the rear, with the key changes taking place within the 1960's rear extension.

The proposed extensions project off the existing 60s extension to the rear, with the two-storey extension being visible from within the public realm and conservation area. The two-storey extension matches the scale, massing and appearance of the existing dwelling, it is therefore considered to have a negligible impact upon the setting and appearance of the New Alresford Conservation Area. The single-storey extensions retain a lightweight approach with the introduction of modern architectural features such as the crittal windows, zinc sheeting and green roofs, this allows for the differentiation between the new and historic part of the dwelling without compromising its special interest. With the glazed appearance retaining visibility through the extension to the historic dwelling itself. Concerns have been raised with regards to the northern boundary wall and its maintenance. The boundary wall itself contains modern fabric and the proposal will retain a gap to wall. Therefore the extension is not considered to lead to a long-term impact upon the boundary wall. The proposed extensions are therefore considered to have create less than substantial harm to the setting and significance of the listed building.

The development includes additional external alterations to the listed building, this includes the creation of a new basement access on the south elevation and lowering of window cil levels. The creation of the basement access would cause the loss of some historic fabric and will result in some low-level harm to the architectural interest to the building, however this harm has been minimised and partly off-set by the benefits of the improved access and improved circulation and ventilation to the space. The development also includes sympathetic repairs and refurbishment works to the buildings façade which has the potential to enhance the significance of the building. The replacement of the bitumen roofing it could be acceptable in heritage terms, however to ensure a suitable membrane the details of the roofing is required under condition 3. Therefore given the low-level of

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fabric loss with the benefit of the repair and refurbishment works, the external works are considered to have less than substantial harm to the listed building, The works undertaken that would be visible from the conservation area are those the repair works that would enhance the façade of the dwelling from within the conservation area.

The majority of the internal works relate to the 1960s extension which do not have the potential to affect the architectural or historic special interest of the building. The internal proposed to the historic core of the building include the removal of parts of the ground floor hallway to create a radius. Whilst this is not required, it has been demonstrated that the works would not affect sensitive historic fabric and allow moveability around the historic staircase. On the first floor the creation of door openings relate to areas that have previously been opened up. Therefore the re-opening is considered to have a neutral impact on the significance of the listed building. The creation of a partition to the front bedroom is considered to have a neutral impact upon the significance of the listed building. Localised opening up works in the same room have shown modern panelling, however caution should be undertaken as historic fabric may still survive, this has been secured through the concurrent listed building application under condition 9

Therefore whilst there are works proposed within the curtilage and to the Grade II listed building, the majority of the works undertaken do not affect the historic fabric of the listed building with these works considered to preserve the significance of the listed building. The works proposed to the historic fabric does include the loss of some historic fabric, however the level is considered minor which is also offset by the enhancement through the proposed repair works to the facades. Therefore whilst there is some loss of historic fabric, the benefits of the other works balance these out loss of historic fabric.

It is considered that the proposals will result in less than substantial harm to the significance of the listed building. The proposals would accord with the requirements of Section 16 para 205 of the NPPF (2024), Policy CP20 of WDLPP1 and DM29 of WDLPP2 and the historic environment section of the Planning Practice Guidance. The harm is balanced out through the enhancement provided through the repair and refurbishment works to the facades of the listed building.

It is considered that the proposal will preserve the character or appearance of the conservation area. The proposals would accord with the requirements of Section 16 para 205 of the NPPF (2024), Policies CP20 of WDLPP1 and DM27 & DM28 of the WDLPP 2; and the historic environment section of the Planning Practice Guidance.

Neighbouring amenity

The site has neighbouring residential properties along its south, west and northern boundaries, with the topography of the land dropping to the north. The proposed single-storey extension is situated within the site and does not provide views out of the dwellings garden, therefore is not considered to lead to an adverse overbearing, overshadowing or overlooking impact to the surrounding neighbouring residential properties.

The two-storey extension retains a gap to the southern boundary with No. 9 Mill Hill along with the neighbouring property being situated to the south of the site, with a tall brick boundary wall that runs along this boundary. Therefore an adverse overbearing and overshadowing impact is not identified. The two-storey extension does include the addition of a new dormer window that is direct to the south with the site having an existing dormer window. It is appreciated that the dormer window is looking towards No.9 Mill Hill, however

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the boundary wall blocks views into the site. With the glazing to the west elevation of the extension having its views direct towards the bottom of the sites garden. It is appreciated that there may be the impression of additional overlooking, however this would not be greater than the existing situation on site. The proposal is therefore not considered to lead to a significant adverse overlooking impact greater than what is already existing on site.

The neighbouring properties to the north are located on the other side of the private access with these being 13, 15, 17 and 19 Mill Hill. The proposal includes the 2 new windows on the first floor north elevation, however these replace 2 windows that are being infilled at the first floor level. The 2 new windows serves a bathroom and wardrobe, these will be conditioned to be obscure glazed to ensure no overlooking to the north takes place. The proposed two-storey extension does increase the massing of the north elevation, however the extension is adjoining to the access that runs along the north with a gap retained to the dwellings to the north. Therefore despite the levels change across the area, the two-storey extension retains a gap to the neighbouring property and is not considered to lead to an adverse overbearing impact. Concerns have been raised with regards to potential overshadowing because of the two-storey extension given the orientation of the site. A shadowing study has been provided showing the winter and summer solstice. The shadow study showing the summer solstice demonstrates that the proposed extension will not lead to any additional overshadowing impacts upon the neighbouring properties to the north. The winter solstice shadow study shows that whilst there will be a small increase in overshadowing at 12:06pm, however this is only over the dormer and roof form of the dwelling. The existing boundary treatment to the site and neighbouring property cause the shadowing, this is demonstrated within the shadow study. Given the small increase in overshadowing as demonstrated by the submitted study, this is not considered to lead to a significant increase in overshadowing that would warrant refusal. Therefore the proposal is not considered to lead to a significant adverse overshadowing impact that would warrant refusal.

The neighbouring property of No. 19a Mill Hill is located towards the front of the site, therefore given the location and nature of the proposed development to the site, an adverse overbearing, overshadowing and overlooking impact is not identified to No. 19a Mill Hill.

The neighbouring dwellings along the sites western boundary consist of No.22 to 25 Arle Gardens. These neighbouring properties are located over 80 metres from the dwelling with the site rising towards to the west. Therefore, given the nature of the site and intervening distances, an adverse overbearing, overshadowing and overlooking impact is not identified.

In summary, the proposed development will not have an adverse impact on neighbouring residential amenity and therefore complies with policy DM17 of the LPP2.

Sustainable Transport

The proposal will have no impact on highway safety and parking as the property retains sizeable parking area to the rear that is served by the private access. The proposal does not seek to increase the number of bedrooms with the existing dwelling having 6 bedrooms with the parking area capable of accommodating at least 3 allocated spaces and the entering and leaving in a forward gear. The proposal therefore complies with policy DM18 of the LPP2.

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Ecology and Biodiversity

The proposal will have no impact as it is not development within, bordering or in close proximity to a Nationally Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) or is not overnight accommodation affecting Nitrates.

Due to the nature of the development and the distance between the application site and the Nationally Protected Site of the Solent SAC and SPA and the River Itchen SAC, an Appropriate Assessment under the Conservation of Habitats & Species (Amendment) Regulations 2011 is not required.

The presence of a protected species is a material consideration when a Planning Authority is considering a development that, if implemented, would be likely to result in harm to the species or its habitat. European protected species (EPS) have full protection under The Conservation of Habitats and Species Regulations 2017. It is an offence to deliberately capture, injure or kill, or deliberately disturb EPS.

In this instance, a Preliminary Roost and Nest Assessment and a Phase II bat survey has identified the presence of bats. The report recommends mitigation measures such as the replacing and recreate the roosts that will be lost as a result of the development, with an additional access point installed, all recommendations within the report is secured by condition 7. To ensure lighting accords with the Institute of Lighting Professionals and Bat Conservation Trust, condition 8 is attached that requires these details be submitted prior to the installation of any lighting

The applicant is also required to enter into a Protected Species License with Natural England prior to works, and Informative 9 has been included to remind the applicant of this duty.

The presence of a protected species on site has therefore been addressed and the submitted reports are acceptable. The proposal therefore complies with policy CP16 of the LPP1.

Therefore, the proposal complies with policy CP16 of the LPP1,

The site is located within the red impact zone with 5 ponds within 500m of the development. There nearest ponds are approximately 120m and 150m from the development and the Great Crested Newts are unlikely to be impacted by the works given the distance and limited suitable habitat present on site. However as the site lies within the red impact zone an informative 10 is attached to this permission.

Biodiversity Net Gain

This application is for householder development and is therefore exempt from the Biodiversity Net Gain requirements.

Appropriate Assessment.

The proposed development would not involve any additional overnight accommodation and would therefore not increase nutrient load at the Solent water environment. The development also does not lie within or close to any European Nature Conservation Sites and would not materially increase recreational pressure upon these designations. Therefore, the development would not cause a significant effect upon the Solent European Sites protected as Special Protection Area and Special Area of Conservation under European law and it is not necessary to undertake an Appropriate Assessment in this instance.

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Sustainable Drainage

The site lies within Flood Zone 1 (an area with low probability of fluvial flooding). The site is already in a residential use, with the proposal seeking to extend the dwelling with the site retaining a large garden space. Therefore given the nature of the site and its development, the proposal is not considered to lead to an adverse drainage impact. Therefore complying with policy DM17 of the LPP2.

Trees

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term.

The proposed development to the dwelling are situated on areas that have already included development such as hard standing, with the proposal retaining a gap to trees around the site. Therefore due to the location of the extensions and distance to the nearby trees, it is not considered that there will be an adverse impact on the trees during construction or the long term use of the development. The proposal will therefore comply with policy DM24.

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The proposal represents residential development to a residential dwelling situated within the New Alresford Conservation Area. The proposal includes elements that will enhance the significance of the listed building and conservation area, with some other elements that will cause the loss of the historic fabric. Therefore, the cumulative impact of the proposed extension and external works are considered to preserve the architectural and historic character of the listed building. The development is also considered to integrate successfully into the dwelling and wider area, therefore preserving the significance of the conservation area. The internal works to the listed building are typically focused around the 60s extension, but those which take place within the historic core are considered to be preserve the significance of the listed building. Subject to the conditions under this application and its associated LIS application. Therefore the proposed development will preserve the significance of the listed building and conservation area, in accordance with policies DM27 and DM29 of the LPP2, as well as S.66 P(LBCA and S.72 P(LBCA) Act 1990 and NPPF Section 16.

The proposed extension does increase the overall massing of the dwelling as well as including glazing to the south, west and north elevations. Given the existing glazing situation on site along with the new north windows being obscure glazed, there will be on additional overlooking greater than what is already on site. It has been demonstrated that there will be a small increase in overshadowing to the neighbouring property to the north,

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however it is not significant enough to warrant refusal. The proposal therefore complies with policy DM17 of the LPP2.

Bat roosts had been identified within the roof space of the dwelling, the submitted Phase 2 bat survey contains suitable mitigation measures that are secured under conditions. The proposal therefore complies with policy CP16 of the LPP1.

In conclusion, the proposal is considered to be acceptable and to comply with relevant local and national planning policy.

Recommendation

Permit subject to the following conditions:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans:

- Proposed Site Plan- Dwg No. 1245/P/101 Rev P1- Received 19.12.2024
- Proposed Basement Plan- Dwg No. 1245/P/103 Rev P1- Received 19.12.2024
- Proposed GF Plan- Dwg No. 1245/P/0103 Rev P1- Received 19.12.2024
- Proposed First Floor Plan- Dwg No. 1245/P/104 Rev P1- Received 19.12.2024
- Proposed Roof Plan- Dwg No. 1245/P/105 Rev P2- Received 10.01.2025
- Proposed South Elevation- Dwg No. 1245/P/106 Rev P1- Received 19.12.2024
- Proposed north elevation- Dwg No. 1245/P/107 Rev P1- Received 10.01.2025
- Proposed East and West Elevations- Dwg No. 1245/P/108 Rev P1- Received 19.12.2024

Reason: In the interests of proper planning and for the avoidance of doubt.

3. No related works shall commence on site until full details of all new materials and finishes to be used for the new extension have been submitted to and approved in writing by the Local Planning Authority. The schedule shall be accompanied by labelled samples. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

The details to be submitted shall include:

- [Brickwork, including brick type, colour, texture, size, finish, brick bond, joint profile and mortar mix/colour for the new extension and the front boundary wall]
- [Roofing material, including the type, size and colour of tiles, zinc sheets and membranes, and to the detailing of insulation, ridges, eaves, fascias and soffits]
- [Cladding, including dimensions, finish]
- [Lime Render mix and colour].

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the

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Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

4. All works of repair to the listed buildings necessitated by the works hereby approved shall be carried out using materials, finishes and methods of workmanship to match adjacent fabric in all respects.

Reason: To ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017

5. The works hereby approved shall employ materials, traditional workmanship, and detailing, to match the existing in all respects, unless otherwise agreed in writing by the Local Planning Authority before the commencement of the relevant works on-site. The works shall then proceed in strict accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

6. The two new first floor windows in the north elevation hereby permitted shall be glazed with obscure glass which achieves an obscuration level at least equivalent to Pilkington Obscure Glass Privacy Level 4 and the glazing shall thereafter be retained in this condition at all times.

Reason: To protect the amenity and privacy of the adjoining residential properties.

7. The development shall be carried out in accordance with the measures, conclusions and recommendations and to the timeframe for implementation as set out within the Phase Two Bat Emergence Survey Report as written by ESL Ltd (September 2024). Thereafter, the measures shall be maintained and retained in accordance with the approved details.

Reason: To ensure that the ecological value of the site is not adversely impacted upon by the development and to improve biodiversity.

8. Prior to the installation of any external lighting on the site, full details of any lighting, including positioning on the building, level of luminance, direction of lighting and details of any motion sensors or timers shall be submitted to and agreed in writing by the Local Planning Authority. The development shall thereafter be carried out in accordance with the approved details.

Reason: To ensure that bats and other nocturnal species are not adversely impacted by the lighting and in the interests of the amenities of the locality

Informatives:

Case No: 24/02762/HOU

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1. In accordance with paragraph 39 of the NPPF 2024 , Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance a site meeting was carried out with the applicant.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:-

Local Plan Part 1 - Joint Core Strategy: DS1, CP16, CP20, MTRA2

Local Plan Part 2 - Development Management and Site Allocations: DM1, DM15, DM16, DM17, DM18, DM24, DM26, DM27, DM29

3. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

4. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served.

5. During Construction, no materials should be burnt on site. Where allegations of statutory nuisance are substantiated by the Environmental Protection Team, an Abatement Notice may be served under The Environmental Protection Act 1990. The applicant is reminded that the emission of dark smoke through the burning of materials is a direct offence under The Clean Air Act 1993.

6. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible.

For further advice, please refer to the Construction Code of Practice

<http://www.ccscheme.org.uk/index.php/ccs-ltd/what-is-the-ccs/code-of-considerate-practice>

7. Please be advised that Building Regulations approval may be required for this development. Please contact WCC Building Control Department for more information (T: 01962 848176, E: buildingcontrol@winchester.gov.uk)

8. Any modifications to the approved drawings, whether for Building Control or any other reason, or any departure on site from what is shown, may constitute a criminal offence under Section 7 of the Planning (Listed Buildings and Conservation Areas) Act 1990. The **Case No: 24/02762/HOU**

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applicant is required to draw this and other conditions on the Consent to the attention of any contractors or sub-contractors working on site and furnish them with a copy of the consent and approved drawings

9. A European Protected Species Licence pertaining to bats will be required from Natural England prior to the start of development or any preparatory works likely to impact upon them. Failure to secure the licences beforehand may lead to prosecution.

10. The applicant is reminded that, under the Conservation of Habitats and Species Regulations 2017 (as amended) and the Wildlife and Countryside Act 1981 (as amended), it is an offence to (amongst other things): deliberately capture, disturb, injure, or kill great crested newts; damage or destroy a breeding or resting place; intentionally or recklessly obstruct access to a resting or sheltering place. Planning permission for a development does not provide a defence against prosecution under this legislation. Should great crested newts be found at any stage of the development works, then all works should cease, and a professional and/or suitably qualified and experienced ecologist (or Natural England) should be contacted for advice on any special precautions before continuing, including the need for a licence.

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Appendix 1
Cllr Power Referral Form

City Councillor's request that a Planning Application be considered by
the Planning Committee

Request from Councillor: Power
Case Number: 24/02762/HOU
Site Address: Wykeham House, 11 Mill Hill, Alresford
Proposal Description: Part single, part 2 storey extension
<p>Requests that the item be considered by the Planning Committee for the following material planning reasons:</p> <p>Although direct sunlight tracking has been provided this does not take into account the loss of indirect light to 13 Mill Hill, and is therefore contrary to DM17: 'does not have an unacceptable adverse impact on adjoining.....property.'</p> <p>DM16. Although obscure glass could be conditioned windows can be opened, and a north facing window is immensely valuable in the very hot summers we now experience. A consequence will be a direct view into the dining room on 13 Mill Hill.</p> <p>DM27 requires development to conserve or enhance the character of an area. The extension will prevent maintenance to one side of the brick and flint wall, assurance is sought that this will not affect the structural integrity of this wall.</p>

- Whilst requests will be accepted up to the determination of the application, Members should make their request as quickly as possible and preferably within the publicity period of the application. Otherwise the case may be determined under delegated powers soon after the expiry of the publicity period. The committee date for the application will depend upon when the request is received in relation to the committee cycle.
- It would be helpful if Members can indicate their preferred outcome to avoid it going to the committee unnecessarily
- Members should note that referral of an item to the Committee will require consideration as to whether a declaration of interests and / or pre-determination and bias may be necessary. If you require advice, please contact the appropriate Democratic Services Officer, prior to the meeting. *Councillors are reminded of their obligations to declare disclosable pecuniary interests, personal and/or prejudicial interests, and on Predetermination or Bias in accordance with legislation and the Council's Code of Conduct.*

Once completed, please email this form to the relevant Planning Case Officer and the Service Lead: Built Environment

Case No: 24/02762/HOU

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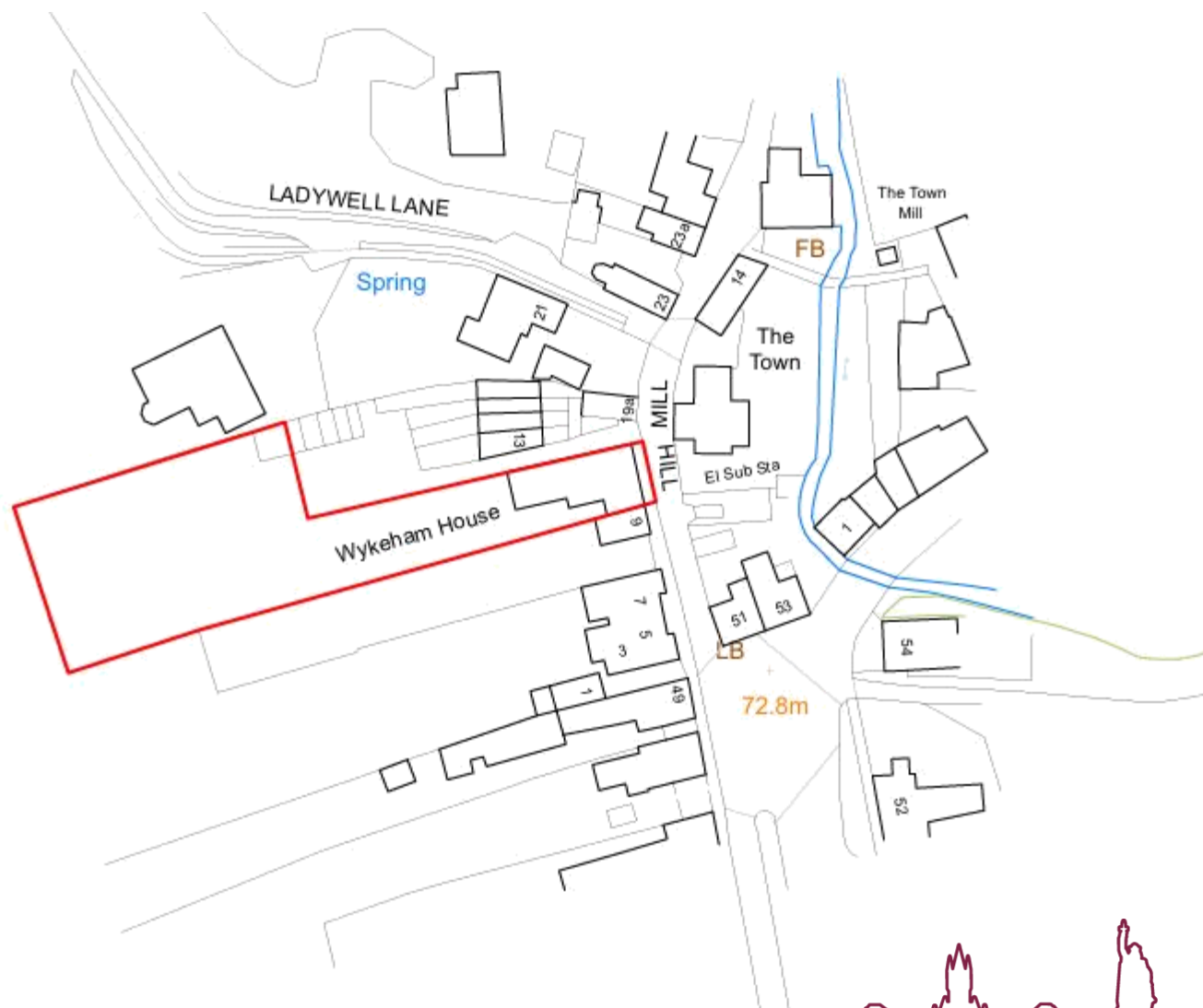
24/02762/HOU & 24/02763/LIS- Wykeham House, 11 Mill Hill, Alresford, Hampshire, SO24 9DD

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Part single, part 2 storey extension, fenestration changes, minor internal and repair works

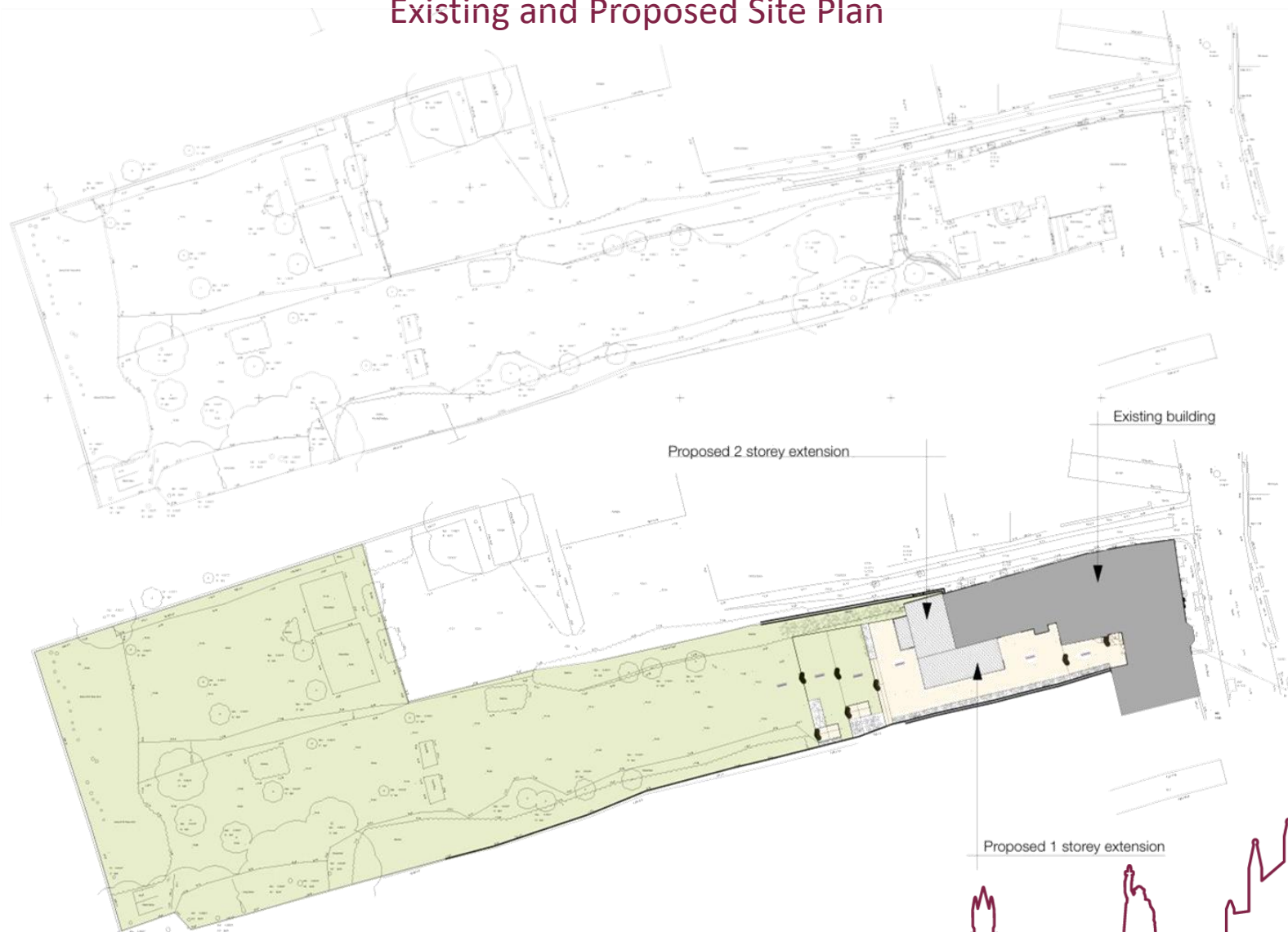


Location Plan

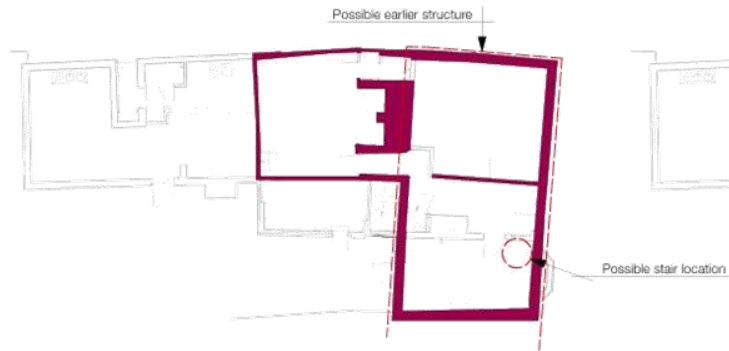


Existing and Proposed Site Plan

Page 97



Ground Floor Phasing Plan



c.1620
3 storey (incl. cellar) village house



c.1670-1690
Modifications made including addition of stair tower and extensions/areas of rebuilding after the Airstord fire of 1689



c.1787
Comprehensive period of modernisation, most likely in response to the fire protection measures put in place after the fires of the early 18C. The southern end is rebuilt in brick, a chimney added, and the front elevation is clad in mathematical tile. The entry is moved to the front of the house



c.1840
Fenestration changes including the addition of the angular bay to the front elevation



c.1920 - 1930
Adaptation of western reception room including modification/addition of windows and doors to south. propping of large beam and ledged and braced doors added



c.1960-1970
Addition of 2 storey extension to west housing kitchen and master bedroom

Aerial Photograph



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Existing and Proposed East (Front) Elevation

Page 100

Existing acrylic paint to be removed using Doff system or equal approved and redecorated using limewash



Existing wall reformed to match existing details and materials to form radiused corner

Photo East (Front) Elevation



Photo looking down Mill Hill



Existing and Proposed West (Rear) Elevation

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New clay plain tile
roof c/w half hip to
match existing

New crittall style
window

Brickwork to match
existing

Standing seam
zinc fascia

Lime render



Stone plinth

Crittall style glazing

New timber doors in
existing opening

Photo West (Rear) Elevation

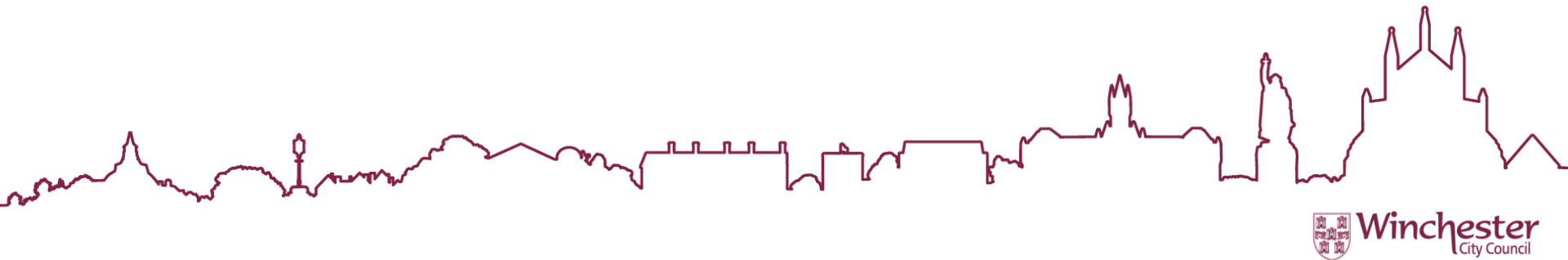


Photo West (Rear) Elevation



Existing and Proposed North (Side) Elevation

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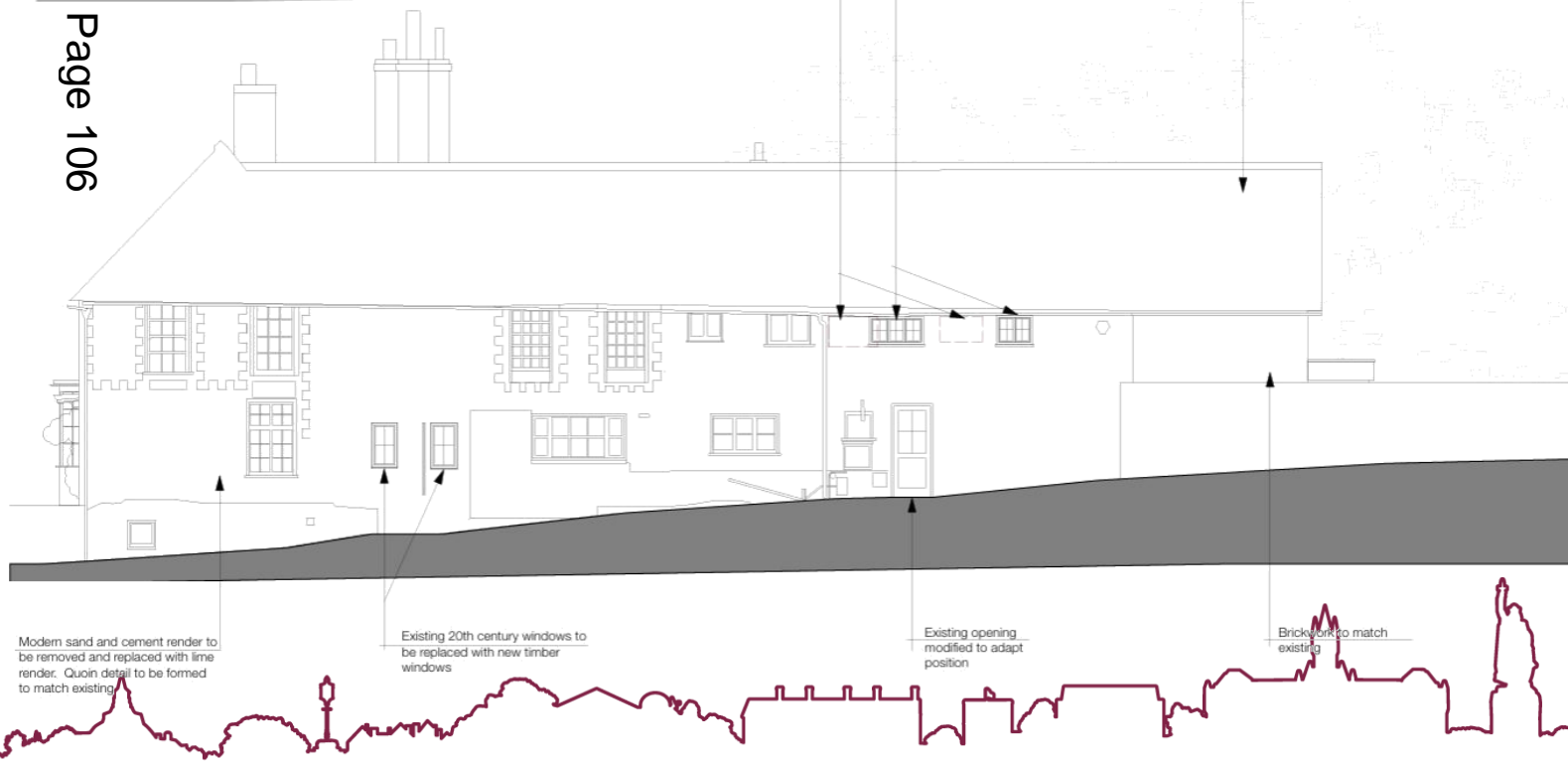
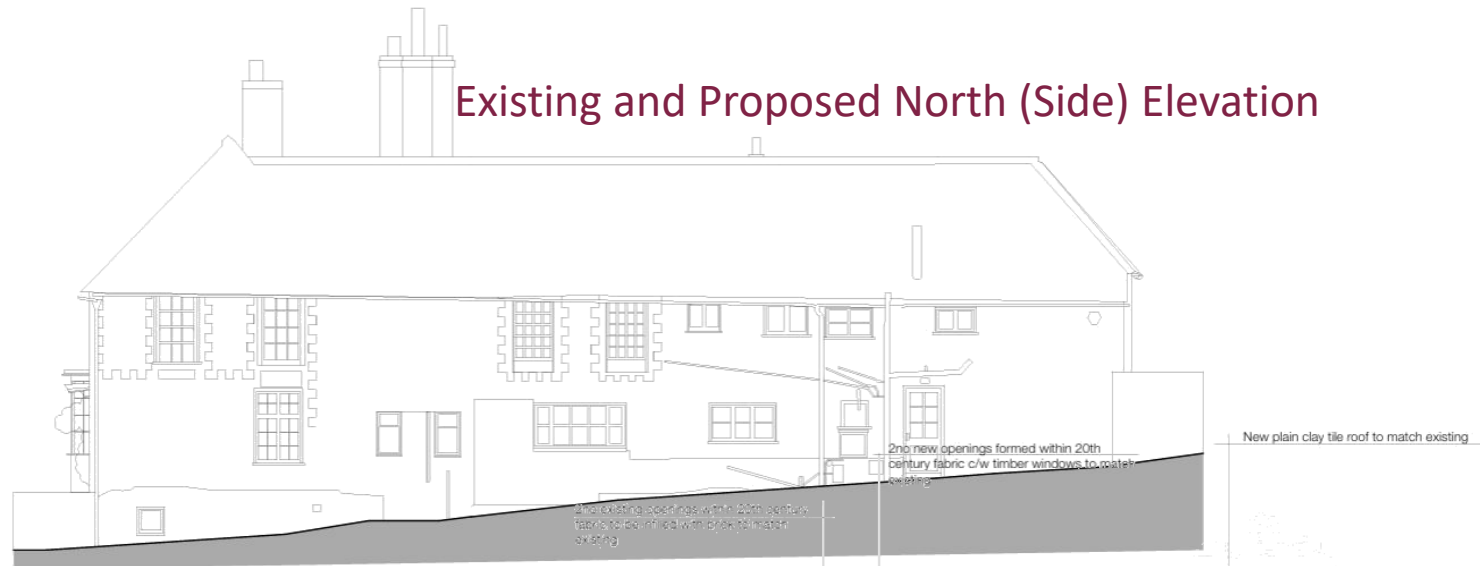


Photo North (Side) Elevation



Photo North (Side) Elevation



Existing and Proposed South (Side) Elevation

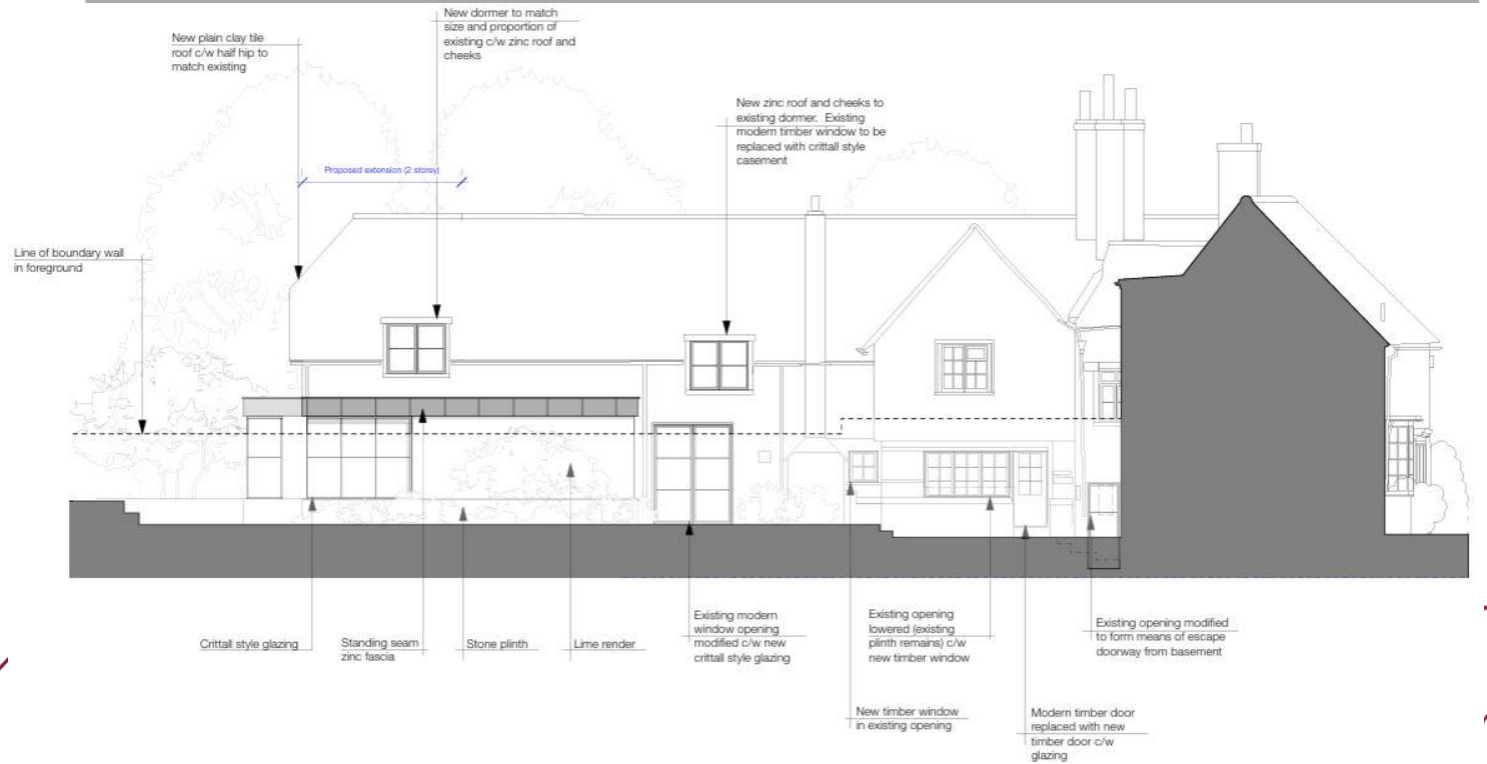


Photo South (Rear) Elevation



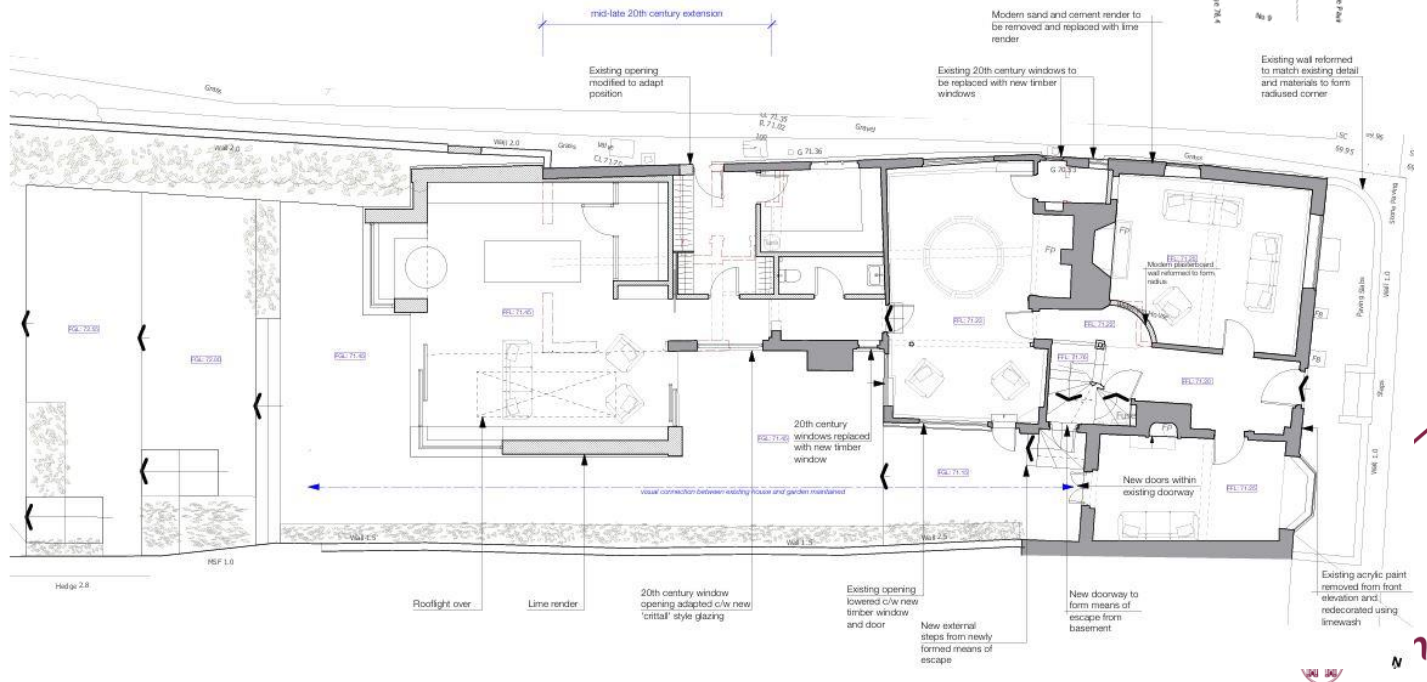
Photo South (Rear) Elevation



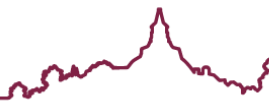
Existing and Proposed Basement Floor Plan



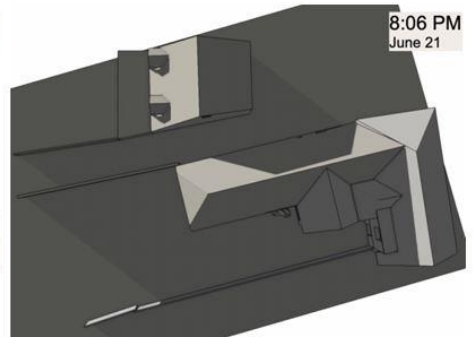
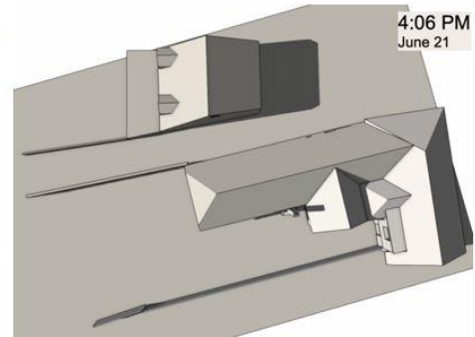
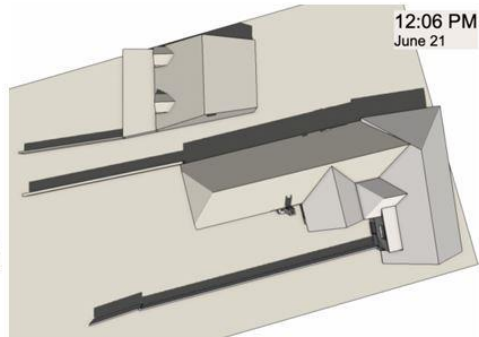
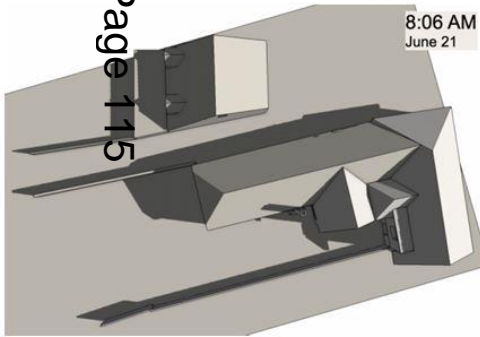
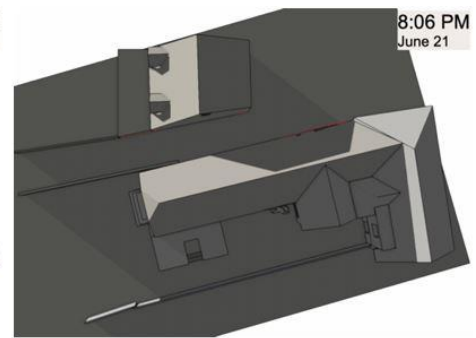
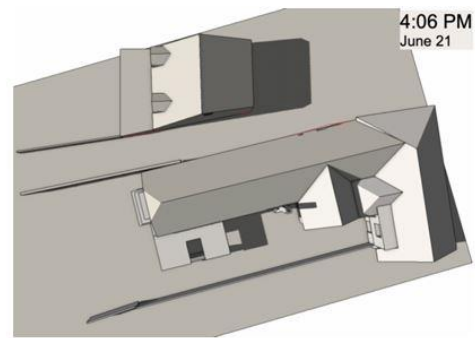
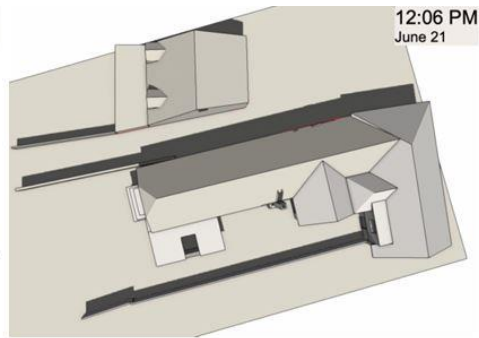
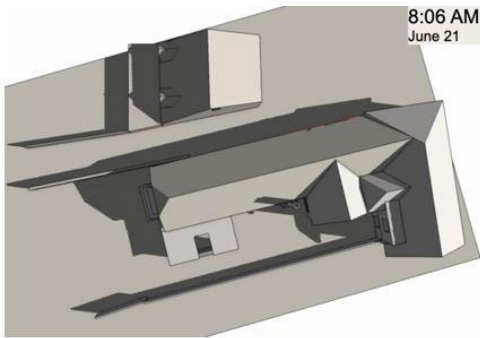
Existing and Proposed Ground Floor Plan



Page 114



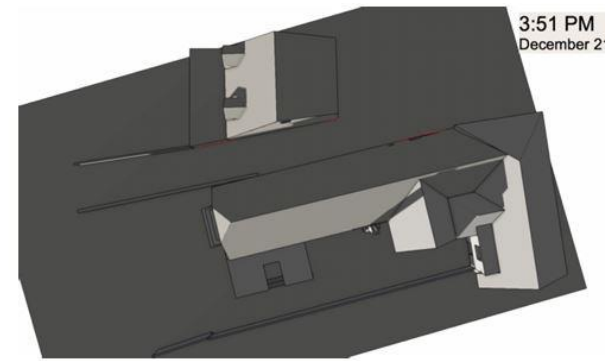
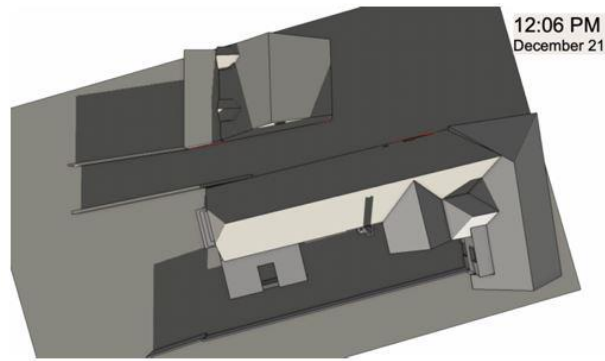
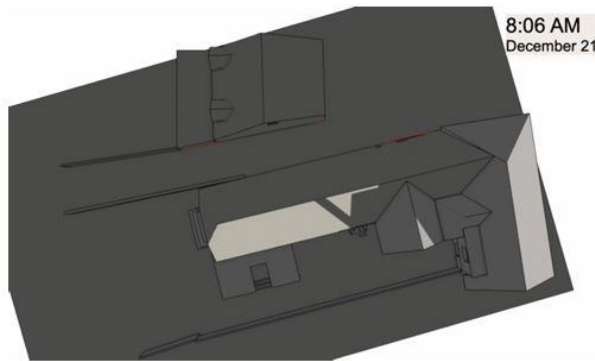
June Sun Study Existing and Proposed



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December Sun Study Existing and Proposed



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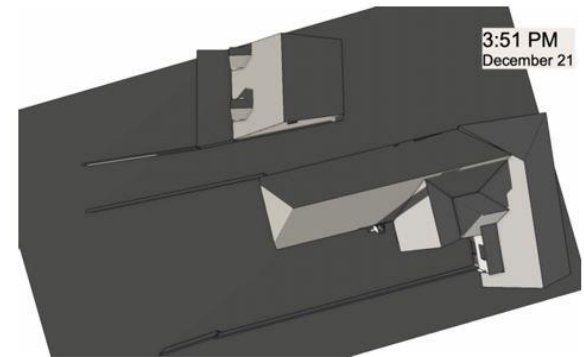
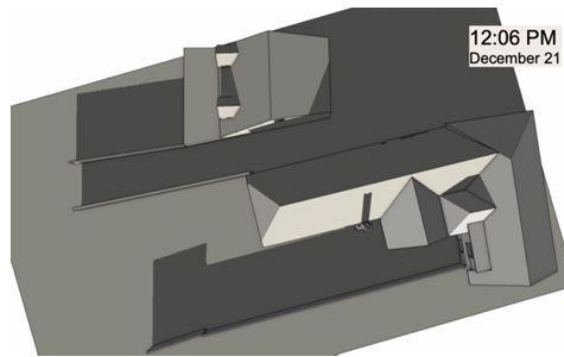
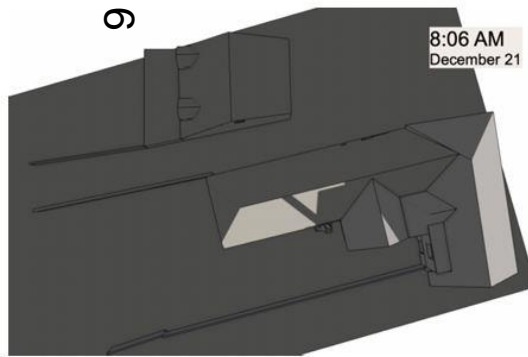


Photo looking East down the private access



Conclusion



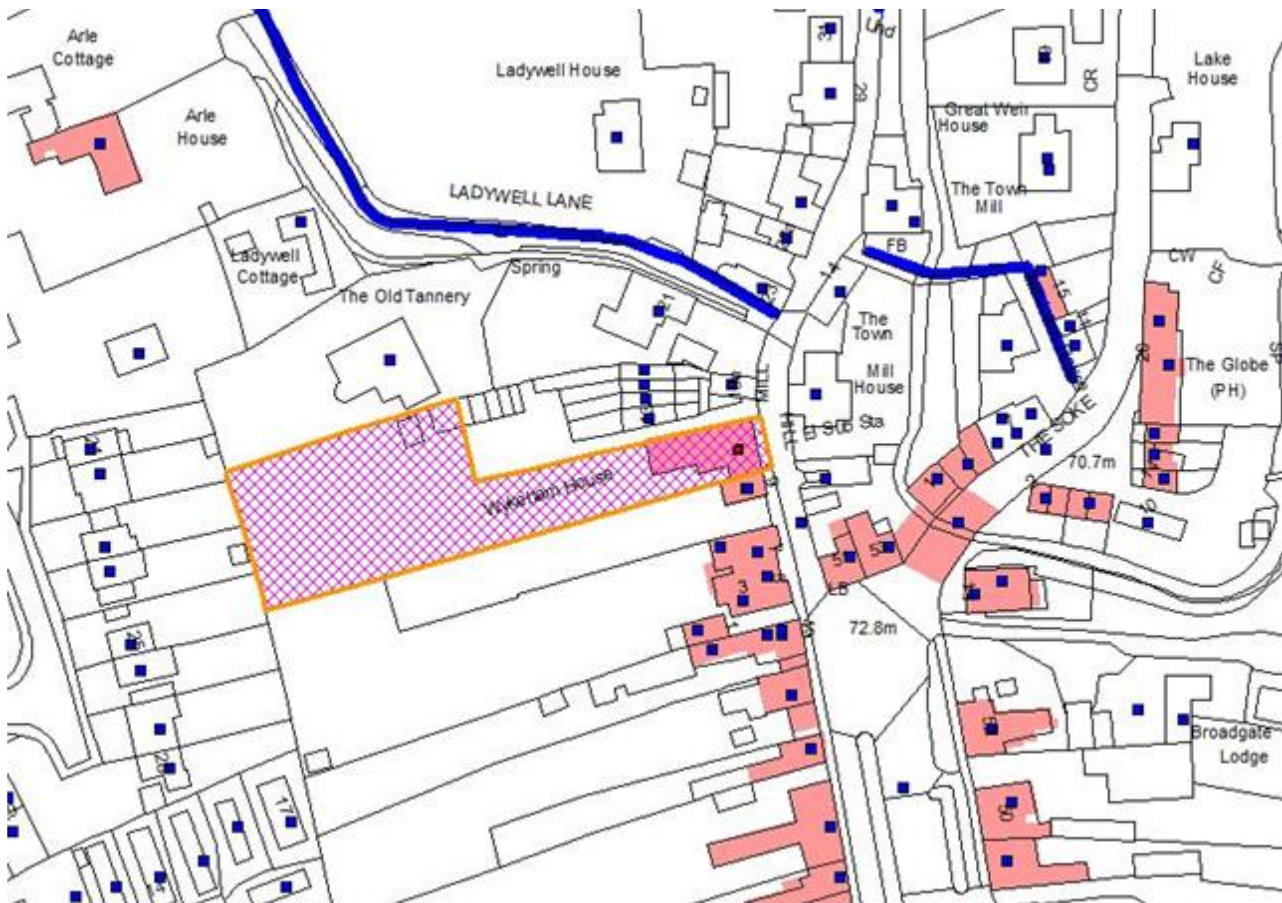
WINCHESTER CITY COUNCIL PLANNING COMMITTEE

Case No: 24/02763/LIS
Proposal Description: Part single, part 2 storey extension, fenestration changes, minor internal and repair works
Address: Wykeham House 11 Mill Hill Alresford Hampshire SO24 9DD
Parish, or Ward if within Winchester City: New Alresford Town Council
Applicants Name: Mr and Mrs Clark
Case Officer: Cameron Taylor
Date Valid: 19 December 2024
Recommendation: Permit
Pre Application Advice Yes

Link to Planning Documents

[Link to page – enter in reference number 24/02763/LIS](#)

<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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Reasons for Recommendation

The development is recommended for permission as it is considered that the proposed works preserve the significance of the Listed Building and complies with the policies of the adopted Development Plan.

General Comments

The application is reported to Committee due to the Ward Councillor Power has requested for the application to be determined by Planning Committee, based upon material planning considerations is shown in Appendix 1

This application runs concurrently with a listed building application-24/02762/HOU

Amendments to Plans Negotiated

Revised plans have been received that show the updated roof form on the extension as there was inconsistency across the plans. The proposed extension has a half-hip roof form, with the initial roof plan and north elevation plan showing a gable end. As the revised plans were to address an inconsistency with other plans showing the correct roof form and the small degree of the amendment, readvertisement was not undertaken.

Site Description

The site is located to the east of Mill Hill that is situated just off Broad Street within the New Alresford Conservation Area. The principal elevation fronts Mill Hill with the garden situated behind the dwelling to the west. The dwelling is a Grade II listed building. There is a private access that runs to the north of the site along its northern boundary. The access serves the parking to the site along with the neighbouring properties to the north of the site.

The area consists of residential properties surrounding the site that include other Listed Buildings. The dwellings in the area are typically two-storey dwelling with a variety of semi-detached and terraced properties, with examples of larger detached dwelling in the wider area. The site has tall brick boundary walls that run along its north and south boundaries with mature vegetation that also runs along the boundaries.

The existing property is a two-storey semi-detached dwelling, the property is a 17th century house that has seen various alterations over the time with the most recent changes dating to the mid/late 20th century.

Proposal

The application seeks a part single and part two-storey extension to the dwelling, fenestration changes, along with minor internal and repair works. The proposed extensions project off the 1960s rear extension that comes off the west elevation of the historic dwelling. The two-storey element comes off the west elevation with the single-storey extension projecting partly off the south elevation of the existing 60s extension and the southern part of the proposed two-storey extension. The development includes fenestration changes and changes to the doors around the dwelling. The changes include the infilling of 2 existing openings and creation of 2 new windows at the first-floor level of the 60s extension along the north elevation. The relocation of an existing door at the ground level. Modifications to the existing openings at the ground floor level on the south elevation on the 60s extension. A new timber door to the historic building on its west elevation within an existing opening. The repair works includes the removal of modern

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coverings to the north and east elevation, along with the bitumen felt roof and with these to be replaced with more appropriate materials. The proposal does include internal alterations to all floor levels across the dwelling, both within the historic dwelling and the more modern 60s extension to the rear. The plans also include the reforming of the wall to the front of the dwelling adjoining Mill Hill.

Relevant Planning History

-83/00368/OLD- Internal alterations and installation of two windows to north and south elevations- Permitted 20.05.1983

-77/00847/OLD- Change of use from residential to window to display portrait photographs- Refused 25.05.1977

Consultations

Service Lead – Built Environment (Historic Environment) –

- No objection subject to conditions

Representations:

Councillors Margot Power- Alresford & Itchen Valley- Referral letter appended under Appendix 1.

“Requests that the item be considered by the Planning Committee for the following material planning reasons: Although direct sunlight tracking has been provided this does not take into account the loss of indirect light to 13 Mill Hill, and is therefore contrary to DM17: ‘does not have an unacceptable adverse impact on adjoining.....property.’. DM16. Although obscure glass could be conditioned windows can be opened, and a north facing window is immensely valuable in the very hot summers we now experience. A consequence will be a direct view into the dining room on 13 Mill Hill. DM27 requires development to conserve or enhance the character of an area. The extension will prevent maintenance to one side of the brick and flint wall, assurance is sought that this will not affect the structural integrity of this wall.”

3 Objecting Representations received from different addresses citing the following material planning reasons:

- Impact upon property
 - The change to the front wall is not needed with suitable visibility already
- Residential Amenity Impacts
 - Loss of light
 - Loss of privacy
- Impact upon the conservation area
 - No information submitted assessing the impact upon the Conservation Area.
- Disruption and damage during the construction to the private access
- Non-material planning issues
 - Impact property value

Comments noting how the proposed development would impact the property value of neighbouring properties. I note this is not a material planning consideration and therefore has not been taken into account during my assessment.

Comments have been received noting construction times and being considerate towards

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neighbouring properties, informative 4-6 attached address the construction being considerate towards neighbouring properties.

4 & 1 out of the Winchester district Supporting Representations received from different addresses citing the following material planning reasons:.

- Restoration of the listed building
- Respects the historic character of the listed building

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (December 2024)

- 4. Decision-making
- 15. Conserving and enhancing the natural environment
- 16. Conserving and enhancing the historic environment

National Planning Practice Guidance

Climate Change
Consultation and pre-decision matters
Design: process and tools
Environmental Impact Assessment
Planning Obligations
Use of planning conditions

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

- MTRA 2 - Market Towns and Larger Villages
- CP13 - High Quality Design
- CP16- Biodiversity
- CP20 - Heritage and Landscape Character

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM15 - Local Distinctiveness
- DM16 - Site Design Criteria
- DM17 - Site Development Principles
- DM27 - Development in Conservation Areas
- DM29 - Heritage Assets

Supplementary Planning Document

National Design Guide 2019
High Quality Places 2015
Air Quality Supplementary Planning Document 2021
New Alresford Design Statement

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.
Nature Emergency Declaration.
Statement of Community Involvement 2018 and 2020

Planning Considerations

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WINCHESTER CITY COUNCIL
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Principle of development

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF, 2024) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

In terms of this listed building application, the key issues are the preservation of the special architectural/historic interest of the listed building and its setting (S.66 P(LBCA) Act 1990; Policy DM29 of the Winchester District Local Plan Part 2 Adopted 2017; Policy CP20 Winchester District Joint Core Strategy; NPPF (2021) Section 16.

The proposals are considered to accord with these policies and legislation and are therefore acceptable in principle. The detailed assessment of the impact of the development on the listed building and its setting is set out below.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

Historic Environment

The development is within the curtilage of a Grade II listed building which forms part of the setting of number of designated heritage assets including the New Alresford Conservation Area. The following legislation and policies are taken into account in the assessment and determination of this planning and listed building application.

Relevant Legislation

The preservation of the special architectural/historic interest of the listed building and its setting (S.66 P(LBCA) Act 1990; Policy DM29 & DM30 of the Winchester District Local Plan Part 2 Adopted 2017; Policy CP20 Winchester District Joint Core Strategy; NPPF (2023) Section 16.

The preservation or enhancement of the character or appearance of the conservation area (S.72 P(LBCA) Act 1990; Policies DM27 & DM28 of the Winchester District Local Plan Part 2 Adopted 2017; Policy CP20 Winchester District Joint Core Strategy; NPPF (2024) Section 16.

Guidance

Where dealing with listed buildings, decision makers are required to have due regard to the “desirability of preserving the [Listed] building or its setting or any features of special architectural or historic interest which it possesses.” under Section 16/66 of the Planning (Listed Buildings and Conservation Areas Act 1990). Case law has established that where an authority finds that a development proposal would harm the setting of a listed building, it must give that harm “considerable importance and weight”.

Where dealing with conservation areas, decision makers are required to pay special attention to the “desirability of preserving or enhancing the character or appearance of that

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area.” under Section 72 of the Planning (Listed Buildings and Conservation Areas Act 1990).

Due regard has been given to these requirements, as set out in the Historic Environment consultation response and assessment within this report.

The historic environment section of the Planning Practice Guidance further outlines the role of the Local Planning Authority in considering the effects of new development that are in the vicinity of or affect the setting of listing buildings and heritage assets. Paragraph 205 of the NPPF advises that great weight should be given to the conservation of a heritage asset in considering the impact of a proposal on its significance (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Paragraph 206 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Policy CP20 of WDLPP1 and Policy DM29 of WDLPP2 ensure that development preserves and enhances heritage assets and their settings.

Wykeham House is a Grade II listed building located to the west of Mill Hill just off Broad Street within the New Alresford Conservation Area. It is a two-storey building with the oldest parts of the building dating back to the 17th century. The building has had various alterations and uses over time with its most recent changes dating to the mid/late 20th century.

The proposed development has elements that will impact both the external and internals of the listed building along with the extensions to the rear, with the key changes taking place within the 1960's rear extension.

The proposed extensions project off the existing 60s extension to the rear, with the two-storey extension being visible from within the public realm and conservation area. The two-storey extension matches the scale, massing and appearance of the existing dwelling, it is therefore considered to have a negligible impact upon the setting and appearance of the New Alresford Conservation Area. The single-storey extensions retain a lightweight approach with the introduction of modern architectural features such as the crittal windows, zinc sheeting and green roofs, this allows for the differentiation between the new and historic part of the dwelling without compromising its special interest. With the glazed appearance retaining visibility through the extension to the historic dwelling itself. Concerns have been raised with regards to the northern boundary wall and its maintenance. The boundary wall itself contains modern fabric and the proposal will retain a gap to wall. Therefore the extension is not considered to lead to a long-term impact upon the boundary wall. The proposed extensions are therefore considered to have create less than substantial harm to the setting and significance of the listed building.

The development includes additional external alterations to the listed building, this includes the creation of a new basement access on the south elevation and lowering of window cil levels. The creation of the basement access would cause the loss of some historic fabric and will result in some low-level harm to the architectural interest to the building, however this harm has been minimised and partly off-set by the benefits of the improved access and improved circulation and ventilation to the space. The development also includes sympathetic repairs and refurbishment works to the buildings façade which has the

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potential to enhance the significance of the building. The replacement of the bitumen roofing it could be acceptable in heritage terms, however to ensure a suitable membrane the details of the roofing is required under condition 3. Therefore given the low-level of fabric loss with the benefit of the repair and refurbishment works, the external works are considered to have less than substantial harm to the listed building, The works undertaken that would be visible from the conservation area are those the repair works that would enhance the façade of the dwelling from within the conservation area.

The majority of the internal works relate to the 1960s extension which do not have the potential to affect the architectural or historic special interest of the building. The internal proposed to the historic core of the building include the removal of parts of the ground floor hallway to create a radius. Whilst this is not required, it has been demonstrated that the works would not affect sensitive historic fabric and allow moveability around the historic staircase. On the first floor the creation of door openings relate to areas that have previously been opened up. Therefore the re-opening is considered to have a neutral impact on the significance of the listed building. The creation of a partition to the front bedroom is considered to have a neutral impact upon the significance of the listed building. Localised opening up works in the same room have shown modern panelling, however caution should be undertaken as historic fabric may still survive, this has been secured through the concurrent listed building application under condition X

Therefore whilst there are works proposed within the curtilage and to the Grade II listed building, the majority of the works undertaken do not affect the historic fabric of the listed building with these works considered to preserve the significance of the listed building. The works proposed to the historic fabric does include the loss of some historic fabric, however the level is consider minor which is also offset by the enhancement through the proposed repair works to the facades. Therefore whilst there is some loss of historic fabric, the benefits of the other works balance these out loss of historic fabric.

It is considered that the proposals will result in less than substantial harm to the significance of the listed building. The proposals would accord with the requirements of Section 16 para 205 of the NPPF (2024), Policy CP20 of WDLPP1 and DM29 of WDLPP2 and the historic environment section of the Planning Practice Guidance. The harm is balanced out through the enhancement provided through the repair and refurbishment works to the facades of the listed building.

It is considered that the proposal will preserve the character or appearance of the conservation area. The proposals would accord with the requirements of Section 16 para 205 of the NPPF (2024), Polices CP20 of WDLPP1 and DM27 & DM28 of the WDLPP 2; and the historic environment section of the Planning Practice Guidance.

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

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The proposal represents residential development to a residential dwelling situated within the New Alresford Conservation Area. The proposal includes elements that will enhance the significance of the listed building and conservation area, with some other elements that will cause the loss of the historic fabric. Therefore, the cumulative impact of the proposed extension and external works are considered to preserve the architectural and historic character of the listed building. The internal works to the listed building are typically focused around the 60s extension, but those which take place within the historic core are considered to be preserve the significance of the listed building. Subject to the conditions under this application and its associated LIS application. Therefore the proposed development will preserve the significance of the listed building and conservation area, in accordance with policies DM27 and DM29 of the LPP2, as well as S.66 P(LBCA and S.72 P(LBCA) Act 1990 and NPPF Section 16.

Recommendation

Permit subject to the following conditions:

Conditions

1. The works hereby consented to shall be begun before the expiration of three years from the date of this consent.

Reason: To comply with the provision of Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans:

- Proposed Site Plan- Dwg No. 1245/P/101 Rev P1- Received 19.12.2024
- Proposed Basement Plan- Dwg No. 1245/P/103 Rev P1- Received 19.12.2024
- Proposed GF Plan- Dwg No. 1245/P/0103 Rev P1- Received 19.12.2024
- Proposed First Floor Plan- Dwg No. 1245/P/104 Rev P1- Received 19.12.2024
- Proposed Roof Plan- Dwg No. 1245/P/105 Rev P2- Received 10.01.2025
- Proposed South Elevation- Dwg No. 1245/P/106 Rev P1- Received 19.12.2024
- Proposed north elevation- Dwg No. 1245/P/107 Rev P1- Received 10.01.2025
- Proposed East and West Elevations- Dwg No. 1245/P/108 Rev P1- Received 19.12.2024

Reason: In the interests of proper planning and for the avoidance of doubt.

3. No related works shall commence on site until full details of all new materials and finishes to be used for the new extension have been submitted to and approved in writing by the Local Planning Authority. The schedule shall be accompanied by labelled samples. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

The details to be submitted shall include:

- [Brickwork, including brick type, colour, texture, size, finish, brick bond, joint profile and mortar mix/colour for the new extension and the front boundary wall]
- [Roofing material, including the type, size and colour of tiles, zinc sheets and membranes, and to the detailing of insulation, ridges, eaves, fascias and soffits]
- [Cladding, including dimensions, finish]
- [Lime Render mix and colour].

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance

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with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

4. All works of repair to the listed buildings necessitated by the works hereby approved shall be carried out using materials, finishes and methods of workmanship to match adjacent fabric in all respects.

Reason: To ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017

5. The works hereby approved shall employ materials, traditional workmanship, and detailing, to match the existing in all respects, unless otherwise agreed in writing by the Local Planning Authority before the commencement of the relevant works on-site. The works shall then proceed in strict accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

6. No related works shall commence on site until large-scale details of all new and altered windows, rooflights, dormers and doors have been submitted to and approved in writing by the Local Planning Authority. The details to be submitted shall include joinery drawings at a scale of 1:10, 1:5 and 1:1 as necessary, showing elevations and sections, the relationship with surrounding fabric, glazing details and finishes. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

7. No related works shall commence on site until full details of all new services have been submitted to and approved in writing by the Local Planning Authority. Details shall be referenced against approved plans and shall show the relationship of the proposals with existing/retained fabric. Following approval of those details, the works shall be carried out and thereafter retained in strict accordance with the details so approved. The details to be submitted shall include:

- [Changes to plumbing pipework, including water supply and soil pipes that affect the historic core of the building]
- [Changes to cabling and wiring that affect the historic core of the building]
- [External lighting anywhere on the building]
- [Meter boxes anywhere on the building]
- [Flues, vents and extract terminals anywhere on the building]

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Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

8. Prior to the execution of works for creating a new door opening to the basement area (south elevation), a schedule of works shall be submitted to and agreed in writing by the Local Planning Authority. The works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

9. Prior to the execution of works relating to the removal of softwood panelling in the first floor front bedroom (south), installation of insulation and plastering, a schedule of works shall be submitted to and agreed in writing by the Local Planning Authority. The works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

10. Prior to the execution of works relating to a) the removal of modern sand and cement based render; and b) removal of existing exterior paint, a method statement shall be submitted to and agreed in writing by the Local Planning Authority. The works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

11. Prior to the installation of scaffolding and pre-commencing of any works relating to the proposals a 'Construction Management Plan' and 'Scheme of Protective Measures' shall be submitted to and agreed in writing by the Local Planning Authority. The documents must clearly explain how machinery will safely access the rear of the site, how scaffolding will be installed and how the Grade II listed Wykeham House will be protected from harm prior to and during construction. The works shall be carried out and thereafter maintained in strict accordance with the details so approved.

Reason: Further information is required because insufficient information was submitted in this regard to ensure preservation of the significance of the listed building, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 of the
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Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

12. If hitherto unknown features of architectural, historic or archaeological interest that would be affected by the hereby approved works are discovered during the progress of works on-site, the related works shall halt whilst an appropriate record is prepared, together with measures to be taken to accommodate the discovered feature(s) within the approved scheme, and/or to mitigate against its loss. The record and proposed measures must be submitted to and approved in writing by the Local Planning Authority before works continue on-site in relation to the affected area. Items of unrelated works may continue on-site unaffected.

Reason: To ensure that any hitherto unknown architectural or archaeological features in the building are recognised, recorded and the results disseminated, in accordance with Section 16 of the National Planning Policy Framework 2024, Policy CP20 Winchester District Joint Core Strategy 2013, and Policy DM29 of the Winchester District Local Plan Part 2 2017.

13. The two new first floor windows in the north elevation hereby permitted shall be glazed with obscure glass which achieves an obscuration level at least equivalent to Pilkington Obscure Glass Privacy Level 4 and the glazing shall thereafter be retained in this condition at all times.

Reason: To protect the amenity and privacy of the adjoining residential properties.

Informatives:

1. In accordance with paragraph 39 of the NPPF 2024 , Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance a site meeting was carried out with the applicant.

2. The Local Planning Authority has taken account of the following development plan policies and proposals:-

Local Plan Part 1 - Joint Core Strategy: DS1, CP20, MTRA2

Local Plan Part 2 - Development Management and Site Allocations: DM27, DM29

3. This permission is granted for the following reasons:

The development is in accordance with the Policies and Proposals of the Development Plan set out above, and other material considerations do not have sufficient weight to justify a refusal of the application. In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning permission should therefore be granted.

4. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental

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Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served.

5. During Construction, no materials should be burnt on site. Where allegations of statutory nuisance are substantiated by the Environmental Protection Team, an Abatement Notice may be served under The Environmental Protection Act 1990. The applicant is reminded that the emission of dark smoke through the burning of materials is a direct offence under The Clean Air Act 1993.

6. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible.

For further advice, please refer to the Construction Code of Practise

<http://www.ccscheme.org.uk/index.php/ccs-ltd/what-is-the-ccs/code-of-considerate-practice>

7. Please be advised that Building Regulations approval may be required for this development. Please contact WCC Building Control Department for more information (T: 01962 848176, E: buildingcontrol@winchester.gov.uk)

8. Any modifications to the approved drawings, whether for Building Control or any other reason, or any departure on site from what is shown, may constitute a criminal offence under Section 7 of the Planning (Listed Buildings and Conservation Areas) Act 1990. The applicant is required to draw this and other conditions on the Consent to the attention of any contractors or sub-contractors working on site and furnish them with a copy of the consent and approved drawings

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Appendix 1
Cllr Power Referral Form

City Councillor's request that a Planning Application be considered by
the Planning Committee

Request from Councillor: Power
Case Number: 24/02762/HOU
Site Address: Wykeham House, 11 Mill Hill, Alresford
Proposal Description: Part single, part 2 storey extension
Requests that the item be considered by the Planning Committee for the following material planning reasons: Although direct sunlight tracking has been provided this does not take into account the loss of indirect light to 13 Mill Hill, and is therefore contrary to DM17: 'does not have an unacceptable adverse impact on adjoining.....property.' DM16. Although obscure glass could be conditioned windows can be opened, and a north facing window is immensely valuable in the very hot summers we now experience. A consequence will be a direct view into the dining room on 13 Mill Hill. DM27 requires development to conserve or enhance the character of an area. The extension will prevent maintenance to one side of the brick and flint wall, assurance is sought that this will not affect the structural integrity of this wall.

- Whilst requests will be accepted up to the determination of the application, Members should make their request as quickly as possible and preferably within the publicity period of the application. Otherwise the case may be determined under delegated powers soon after the expiry of the publicity period. The committee date for the application will depend upon when the request is received in relation to the committee cycle.
- It would be helpful if Members can indicate their preferred outcome to avoid it going to the committee unnecessarily
- Members should note that referral of an item to the Committee will require consideration as to whether a declaration of interests and / or pre-determination and bias may be necessary. If you require advice, please contact the appropriate Democratic Services Officer, prior to the meeting. *Councillors are reminded of their obligations to declare disclosable pecuniary interests, personal and/or prejudicial interests, and on Predetermination or Bias in accordance with legislation and the Council's Code of Conduct.*

Once completed, please email this form to the relevant Planning Case Officer and the Service Lead: Built Environment

Case No: 24/02763/LIS

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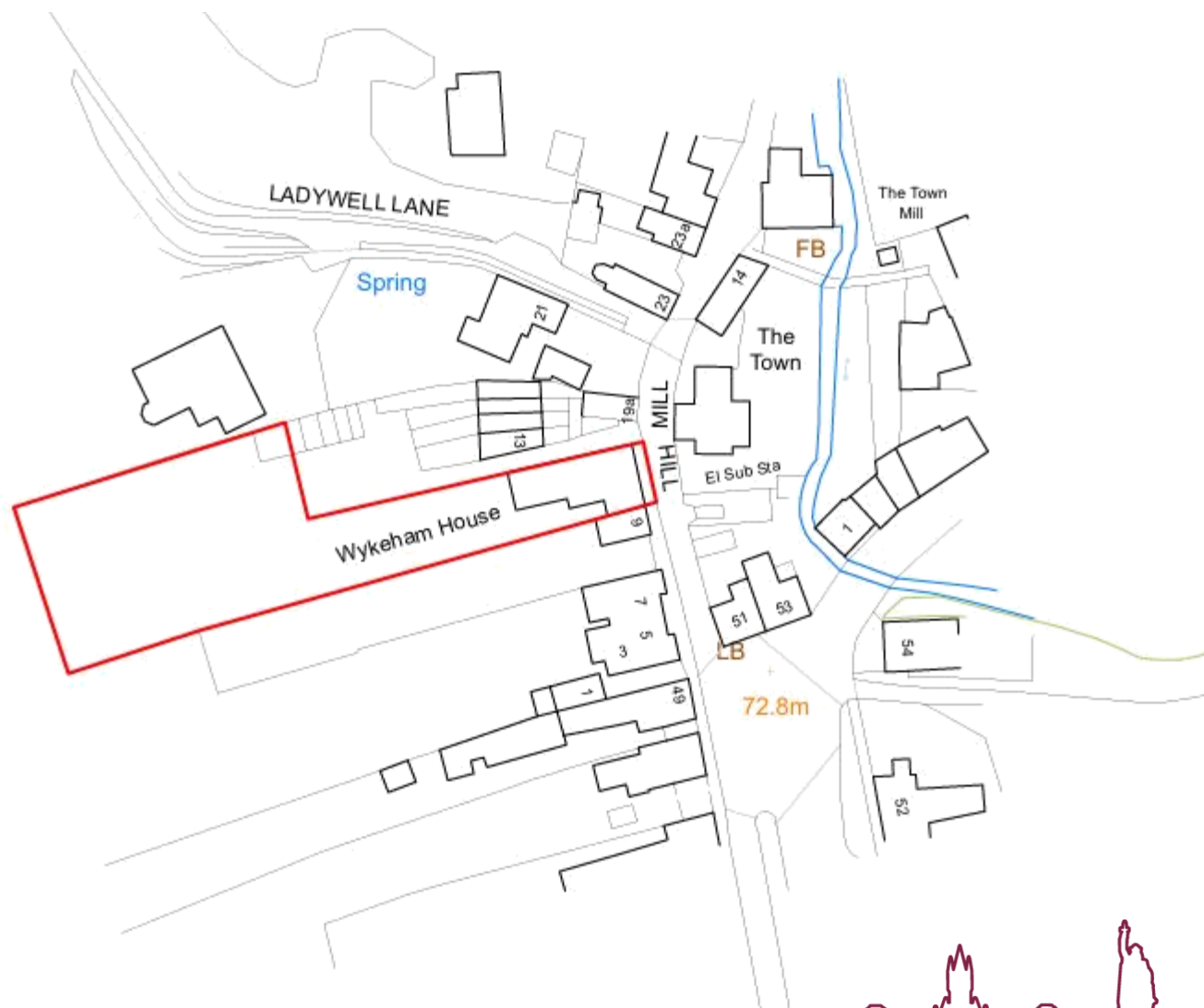
24/02762/HOU & 24/02763/LIS- Wykeham House, 11 Mill Hill, Alresford, Hampshire, SO24 9DD

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Part single, part 2 storey extension, fenestration changes, minor internal and repair works



Location Plan

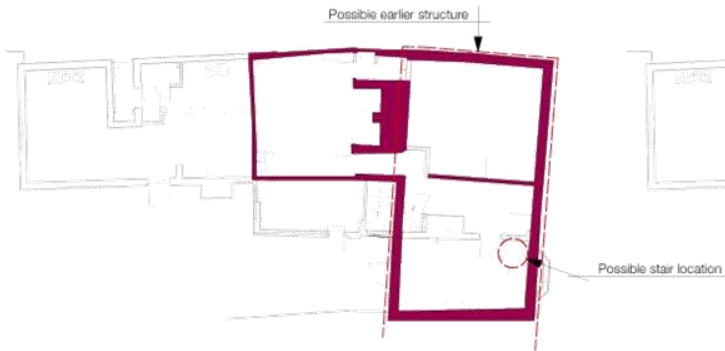


Existing and Proposed Site Plan

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Ground Floor Phasing Plan



c.1620
3 storey (incl. cellar) village house



c.1670-1690
Modifications made including addition of stair tower and extensions/areas of rebuilding after the Airstord fire of 1689



c.1787
Comprehensive period of modernisation, most likely in response to the fire protection measures put in place after the fires of the early 18C. The southern end is rebuilt in brick, a chimney added, and the front elevation is clad in mathematical tile. The entry is moved to the front of the house



c.1840
Fenestration changes including the addition of the angular bay to the front elevation



c.1920 - 1930
Adaptation of western reception room including modification/addition of windows and doors to south, propping of large beam and ledged and braced doors added



c.1960-1970
Addition of 2 storey extension to west housing kitchen and master bedroom

Aerial Photograph



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Existing and Proposed East (Front) Elevation

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Existing acrylic paint to be removed using Doff system or equal approved and redecorated using limewash



Existing wall reformed to match existing details and materials to form radiused corner

Photo East (Front) Elevation



Photo looking down Mill Hill



Existing and Proposed West (Rear) Elevation

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Photo West (Rear) Elevation

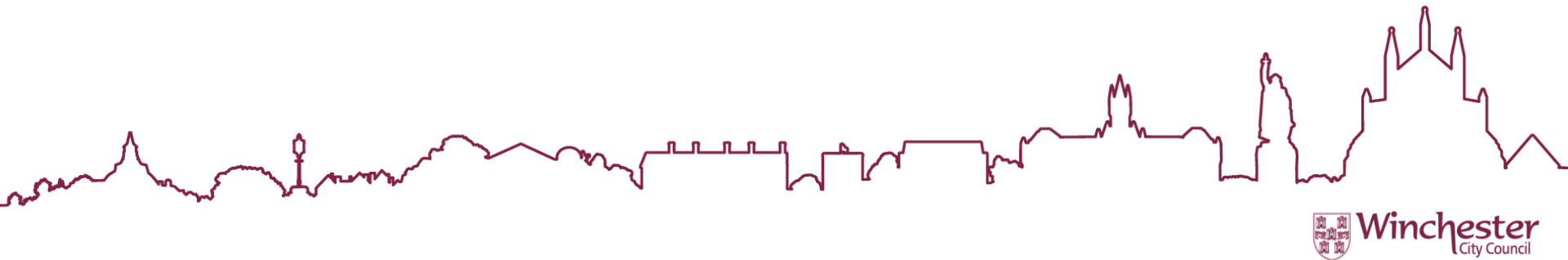
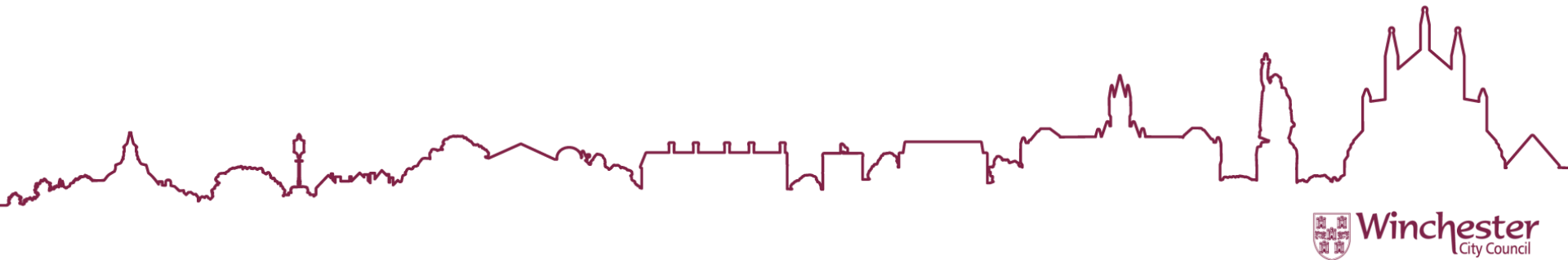


Photo West (Rear) Elevation



Existing and Proposed North (Side) Elevation

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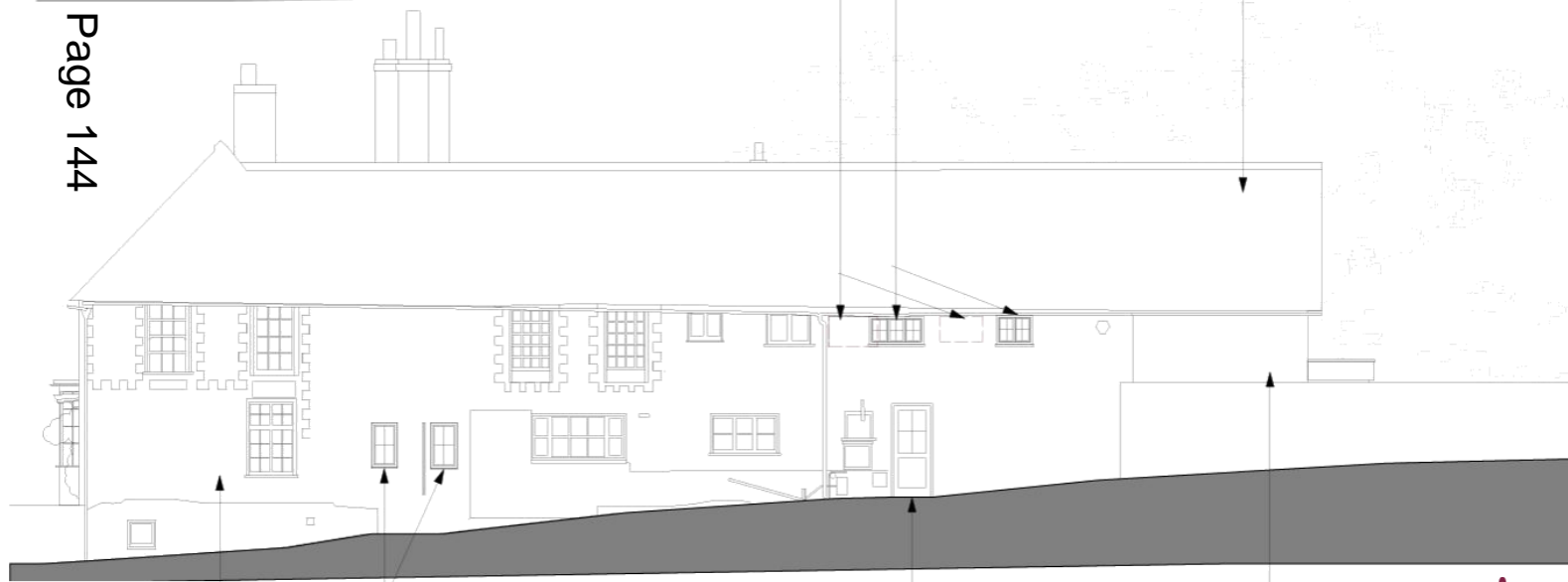
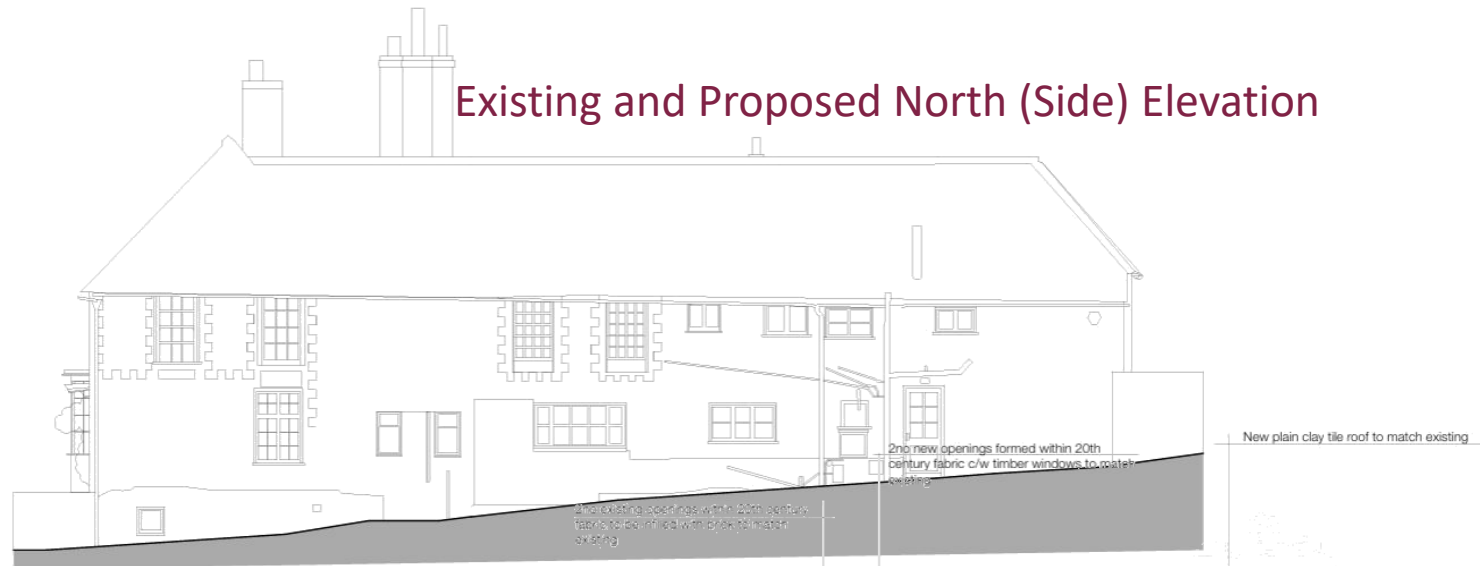


Photo North (Side) Elevation

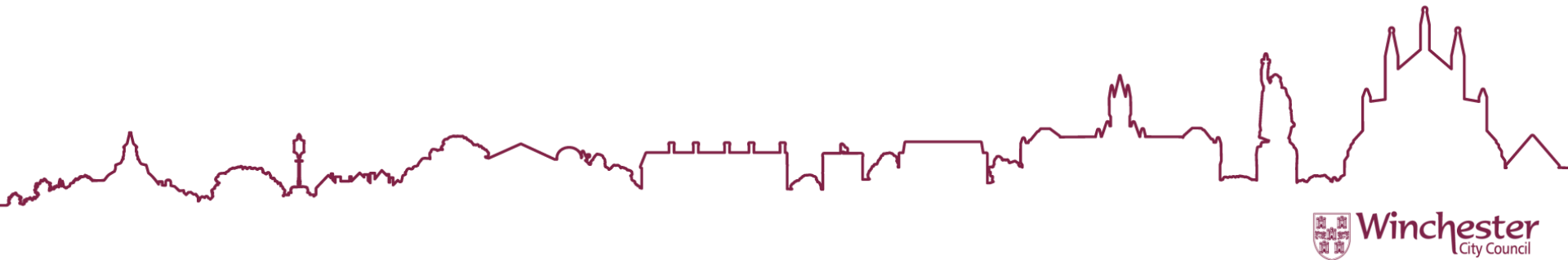


Photo North (Side) Elevation



Existing and Proposed South (Side) Elevation

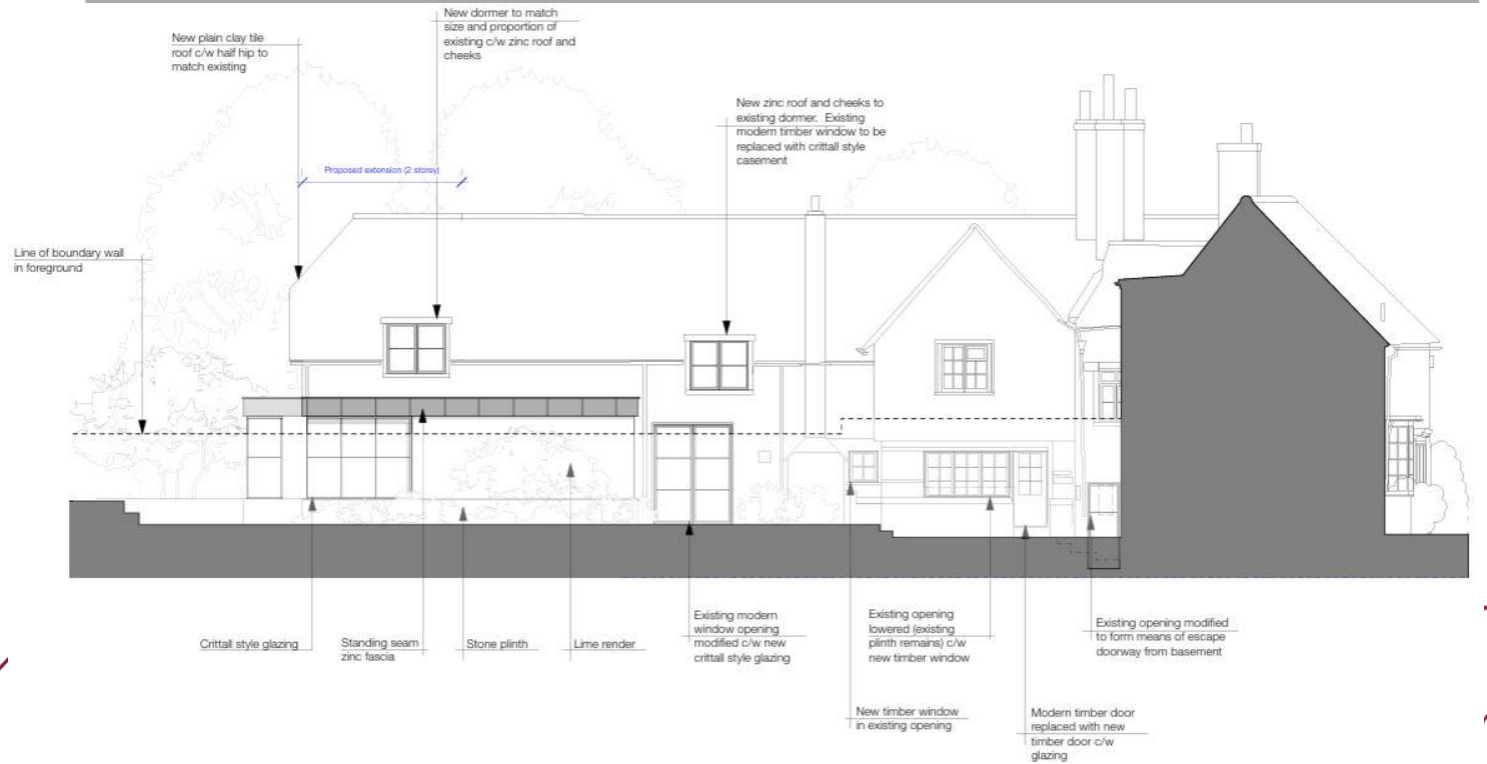


Photo South (Rear) Elevation



Photo South (Rear) Elevation

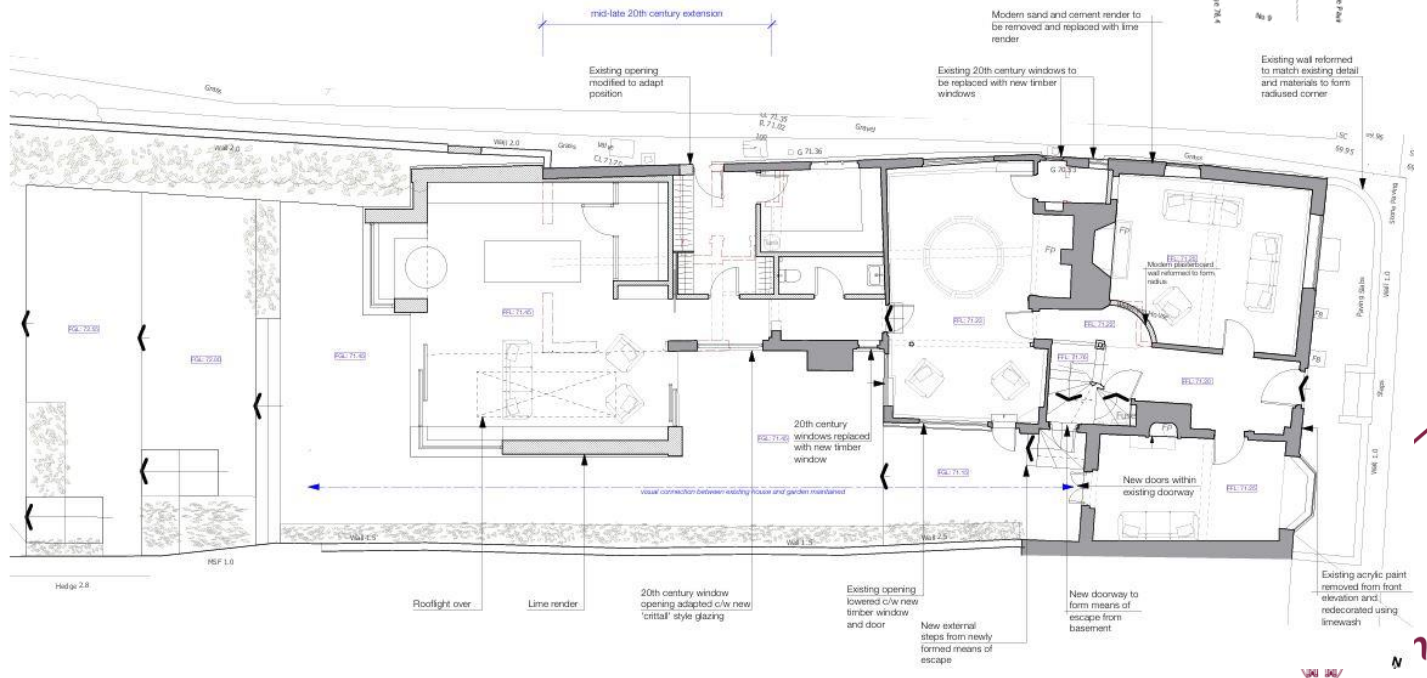


Existing and Proposed Basement Floor Plan

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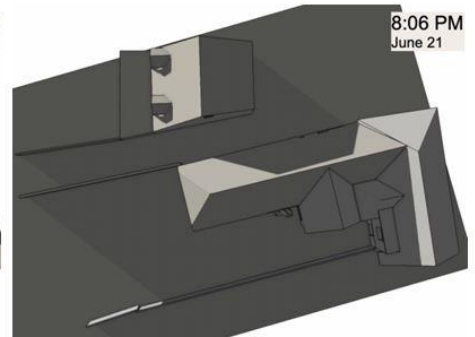
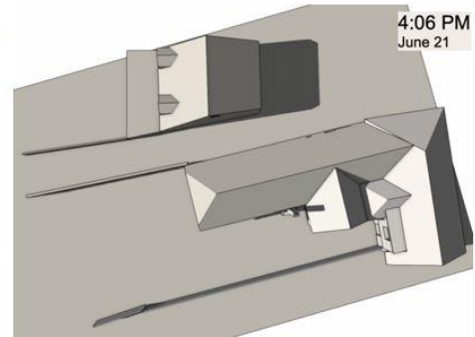
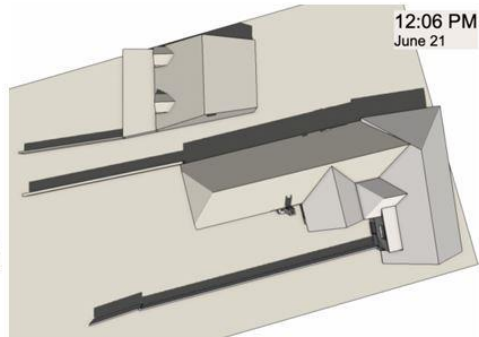
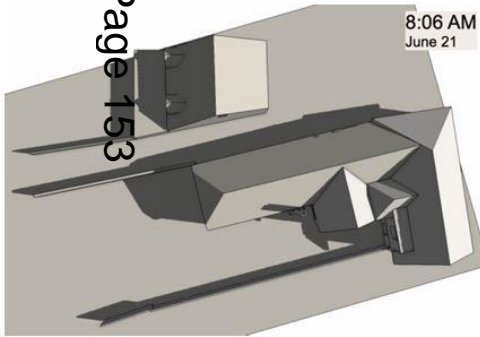
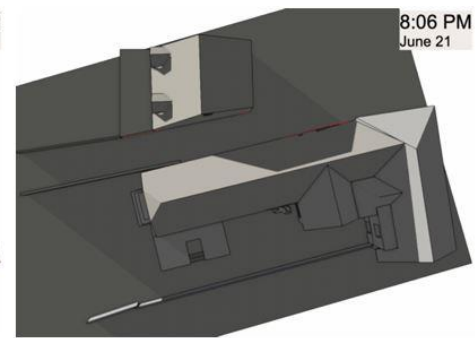
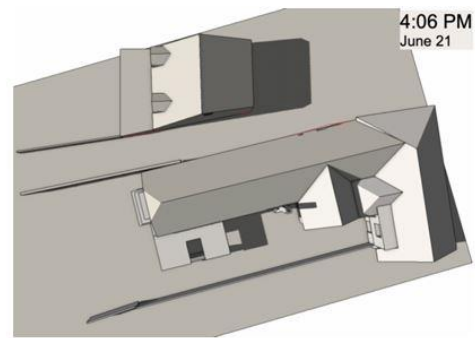
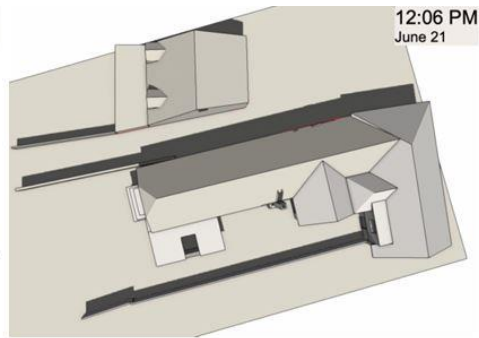
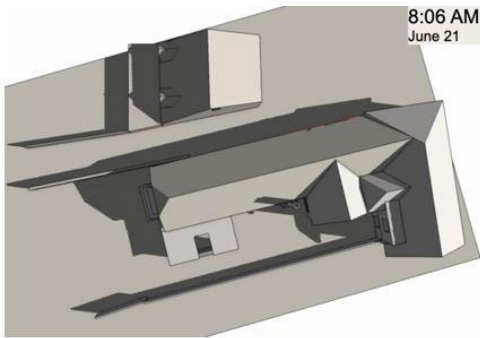
Existing and Proposed Ground Floor Plan



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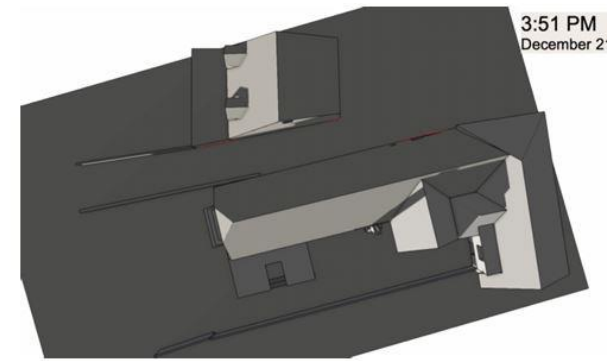
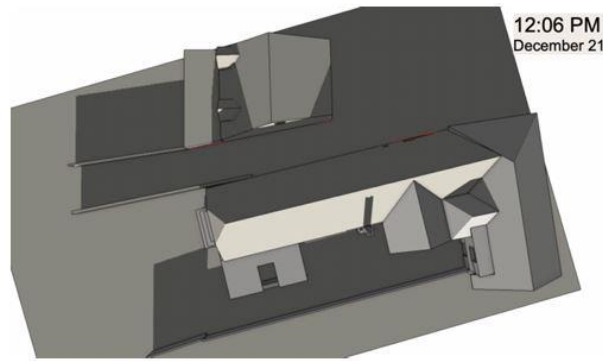
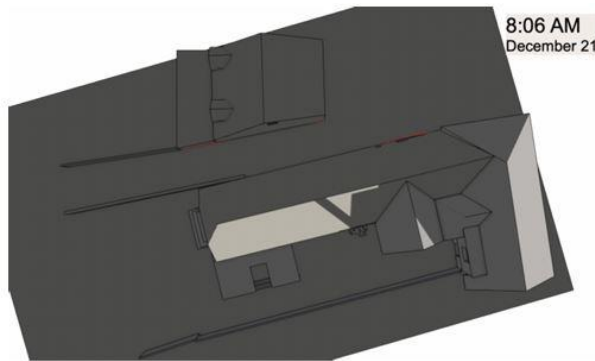
June Sun Study Existing and Proposed



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December Sun Study Existing and Proposed



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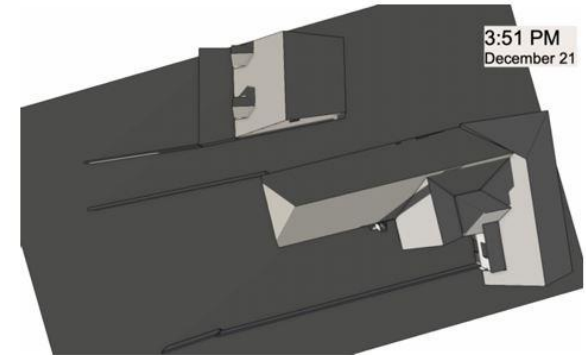
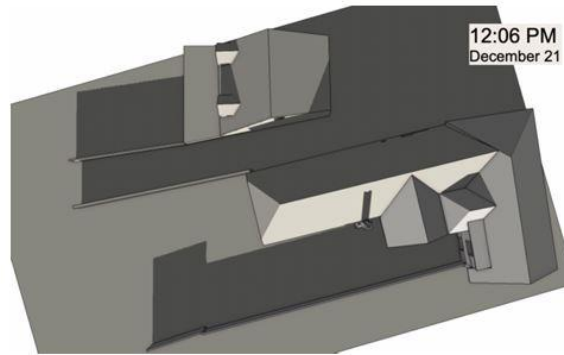
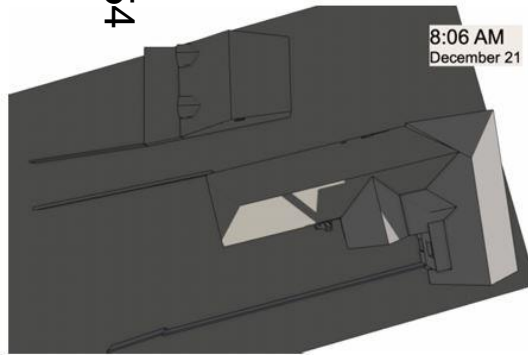


Photo looking East down the private access



Conclusion



Case No:	SDNP/22/04058/FUL
Proposal Description:	(AMENDED DESCRIPTION) Conversion of existing facilities building to one bedroom holiday let and Replacement of three yurts with one three-bedroom and one two-bedroom holiday let; retention of 2 no: yurts for ancillary purposes; and associated works
Address:	The Sanctuary Manor Farm Green Twyford Hampshire SO21 1RA
Parish:	Twyford Parish
Applicants Name:	Miss Ellie Strange
Case Officer:	Lisa Booth
Date Valid:	31.08.2022
Recommendation:	Application Approved
Pre Application Advice:	No

[SDNP/22/04058/FUL | \(AMENDED DESCRIPTION\) Conversion of existing facilities building to one bedroom holiday let and Replacement of three yurts with one three-bedroom and one two-bedroom holiday let; retention of 2 no: yurts for ancillary purposes; and associated works | The Sanctuary Manor Farm Green Twyford Hampshire SO21 1RA](#)



**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE****Reasons for Recommendation**

The development is recommended for approval, as the proposal is considered to be in accordance with Development Plan Policies of the South Downs Local Plan (2014-33).

General Comments

The application is reported to Committee because of the number of Objections, received contrary to the Officer's recommendation.

Amendments to Plans Negotiated

The layout plan was amended after a detailed site visit with the Landscape Officer to move 'Lodge 1' further from the boundary hedge and to provide additional dense planting mix to provide all year round cover, to get a better buffer and to reduce the urbanising impact of the windows facing towards the footpath.

Site Description

The site relates to a sloping site on the south-western edge of Twyford outside the settlement policy boundary. The current lawful use of the land is for seasonal tourist accommodation from 1 April to 31 October in the form of yurts, and an amenity building to the east of the entrance.

The site is bounded to the east by the B3335 and to the south-west by a public right of way with open countryside and the water meadows beyond. The north-eastern edge of the site is defined by the gardens of properties on Manor Farm Green, which fall within the Twyford Conservation Area. The northern boundary of the site is formed by a farm track with vehicular access into the site. The boundaries are largely formed of hedgerow. The site has a pond in the north and contains a small wooden structure with a seating terrace. Footpath Twyford 8 runs along the rear of the south-western boundary hedge.

Proposal

(AMENDED DESCRIPTION) Conversion of existing facilities building to one bedroom holiday let and Replacement of three yurts with one three-bedroom and one two-bedroom holiday let; retention of 2 no: yurts for ancillary purposes; and associated works for seasonal tourist accommodation from 1 April to 31 October

Relevant Planning History

SDNP/16/04648/FUL Retrospective planning application to regularise; the front enclosure of the Facilities Building. The provision of two Velux type windows in the rear roof. The provision of a flue. The construction of a sunken barbecue and a levelled hard access area. Provision of a log store with ancillary locked secure cupboard and consumer unit. Allowed on appeal for non-determination (ref APP/L1765/W/16/3168084)

SDNP/12/03049/DCOND Proposed Siting of 5(No.) Yurts for Holiday Letting and change

Case No: SDNP/22/04058/FUL

WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

of use of existing field shelter to ancillary toilet/shower/washing facilities. Approved
05.07.2013

11/00925/SFUL Siting of 5 No. Yurts for Holiday Letting and change of use of existing field shelter to ancillary toilet/shower/washing facilities. Allowed on appeal 30/07/2012 (Refs APP/Y9507/A/12/2168351 and APP/Y9507/C/12/2170687).

Consultations

Hampshire County Council (Highway Authority) –

- No objections, no conditions

Service Lead – Sustainability and Natural England (Landscape) –

- Further information received – no objection subject to condition (14)

Service Lead – Sustainability and Natural England (Ecology) –

- No objection subject to conditions (9 and 12)
- An Ecological Appraisal (Hampshire Ecological Services, August 2022) was submitted with the application. This states that the facilities building has negligible potential for roosting bats. An eDNA survey was undertaken on the pond which was negative for great crested newt. All trees and hedgerows will be retained as part of the proposed development.
- Reptile surveys were not considered necessary in the report, however there are areas of long grassland which may be impacted by the proposal. As such I recommend that a Precautionary Method Statement for reptiles is included within a Construction Method Statement, which can be conditioned. I also recommend that the outlined enhancement measures in section 5.6 of the report, external lighting and a Biodiversity Enhancement Plan also be conditioned.

Service Lead – Sustainability and Natural Environment (Trees) –

- No objection subject to condition (7)

Natural England –

- No objection – nitrate/phosphate neutral

Representations:

Twyford Parish Council

Comments:
Preliminary

Twyford Parish Council (TPC) is aware that each planning application must be considered on its merits; however in this case the “merits” include the status of the land and the use to which it has been put up to now. In view of the past breaches, TPC will also urge the Planning Authority to ensure that, if consent is granted, the conditions

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secure both compliance and a framework for controlling further development, as this application appears a stepping stone to further building and uses, and is only for holiday lodges.

TPC also notes the objectors suspicions that the application is not what it seems and that the intentions of the applicant are different from what is applied for. TPC understands this widespread view and the reasons for it.

TPC notes the following:

- Only two of the five yurts have ever been erected
- The site does not appear to operate as a holiday site
- Booking is obscure
- The shower facilities block is fitted out and appears to be used as a dwelling

Consequently, one of the main reasons for the grant of consent ...namely the holiday/recreational use has not happened. The applicants have however claimed that their consent has been kept alive even though not made use of. They have not explained their reasons. The whole justification for SDLP Policy xx and TNP ST1 for granting consent outside the settlement boundary is to meet the needs of visitors to the national park. The same arguments are used in support of this application.

On the Policy front TPC has recently completed the Twyford neighbourhood plan; during this process the council discussed its policy for holiday accommodation outside the settlement boundary in detail add notes the inspectors the independent examiners careful re phrasing of its original wording add LH Iowan

Taking all of this into account TPC's approach is as follows:

- 1 to query the current planning status of the land
- 2 to examine the policy.
- 3 to look at the details of the application

The appearance of the land

This triangular parcel of land was acquired by the applicant's father about 20 years ago was originally part of the fields to the South. Since then the land has been progressively developed and various plantings have taken place, new hedging to the South, a pond in the western corner a "log store" now fitted out and apparently used as a dwelling with paved terrace, two concrete bases for yurts, with yurts erected, a small gravelled parking area for three or so cars, and various plantings and mowed areas. The area to the north is largely long grass or wildflower mix; it has some fruit trees and mowed paths. The whole area has the appearance of amenity land. The land is not in agricultural use. The land does not appear to be in regular use apart from the log store/shower block, which appears to be lived in by Mr Strange. The facilities block as seen by three members of the Parish Council on 3rd October, was not fitted out as a facility building but as a home and to be in use.

The Planning status of the Land

The planning status of the land was set by the decisions of the planning inspector in 2012 in which he quashed an enforcement notice for the one yurt and granted planning

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consent for 5 yurts (which included the one yurt.) This was subject to number of conditions, - eight for the deemed application (Annex 1 of the decision letter) and ten for the planning consent (Annex 2)

TPC have not been able to find out whether these conditions have been complied with, - either what plans were submitted or when the planning authority might have given its consent or any evidence of the requirements of the conditions being complied with. The importance here is that these details (landscaping, fencing, lighting etc) should provide the basis for any further. One example is Condition 3 of Annex 1 and Condition 5 of annex 2) require fencing to the pond and to the boundaries. There is no fencing to the pond or any fencing to separate the yurt site from the residue of the land. Perhaps even more fundamental is that three of the conditions in Annex one and four in Annex 2 are “conditions precedent” i.e. they have to be complied with before any of the yurts or the building is occupied. As has been mentioned TPC can see no sign of the conditions having been complied with, the consequence being that neither of the appeal consents including the conversion of the log store to ancillary shower and washing facilities are now valid. The site therefore does not have the benefit of planning consent for the uses claimed in the supporting planning statement. Clearly, if the applicant is able to show that the conditions have been properly complied with, this aspect of TPC’s comments falls away.

If however, the Conditions precedent have not been complied with, there is no valid consent. The issue to be decided by the Planning Authority is then “what are the lawful uses and structures on the site?” As this question has to be answered on the basis of fact and law and not on the Development Plan policies, it requires a separate approach from that presented in the current application.

Normally such a determination might be straightforward after such a long period assuming the use consented in 2012 had been implemented and therefore become established. However, in this case, the applicant has failed to erect three of the yurts in the 10-year period since the grant of consent. Moreover, the Sanctuary does not appear to be being used as a holiday site. Residents and neighbours see none of the comings and goings associated with active holiday site. It is not clear that this has ever been a bona fides holiday site providing holiday accommodation. For instance, currently, the renting of a yurt is not available by any of the normal ways of booking. It is doubtful that the holiday use ever been commenced.

To conclude on this aspect of the current application, all these matches are important in their own right. If the appeal decisions conditions precedent have not being complied with, the original consent is become null and void. The use of the site will have to be determined on the basis of fact and law. As this planning application for making permanent the temporary holidays structures are based in a large part on the validity of the current use and its establishment as a holiday site, much of the supporting argument for the granting of consent is falls away.

TPC requests that these issues are clarified before the current application is considered

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any further.

Officer Comment: All conditions were discharged 05.07.2013 under discharge of condition application ref: SDNP/12/03049/DCOND for planning application ref: 11/00925/SFUL which was allowed on appeal for 5 no: yurts.

See also Appendix 1 for full representation.

32 Objecting Representations received from different addresses citing the following material planning reasons:

- Enforcement History – creep – no evidence of holiday use
- Another step towards residential use of the site
- Contrary to Twyford Neighbourhood Plan
- Impact on Greater Crested Newts
- Impact on privacy
- View through hedge on footpath/impact on landscape
- Height will be seen through hedge
- Outside lighting impacts bats
- New PTP – pollutants in River Itchen
- More traffic/obstructions as access used by farm vehicles/highway safety
- Sets a precedent for further development/others to do the same
- No marketing of business
- Don't need more holiday cottages

2 Supporting Representations received from different addresses citing the following material planning reasons:

- Sympathetic to surroundings
- Quality, attractive, well thought out proposal
- Well screened from sight and sound
- Ecologically influenced scheme/good for nature of the site/well landscaped design
- Well maintained
- Future proof for tourism
- Need for small holiday lets in the village
- Will support local businesses

1 Neutral Representations received from different addresses citing the following material planning reasons:

- Proposal is in fact in accordance with policy ST1 of the Twyford Neighbourhood Plan
- However, architecture of the scheme does not respect locality.

Relevant Government Planning Policy and Guidance

Relevant Government Planning Policy and Guidance

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Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF), updated December 2023. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

The development plan policies listed below have been assessed for their compliance with the NPPF and are considered to be compliant with the NPPF.

The following policies of the **South Downs Local Plan** are relevant to this application:

- Core Policy SD1 - Sustainable Development
- Core Policy SD2 - Ecosystems Services
- Strategic Policy SD4 - Landscape Character
- Strategic Policy SD5 - Design
- Strategic Policy SD8 - Dark Night Skies
- Strategic Policy SD9 - Biodiversity and Geodiversity
- Development Management Policy SD11 - Trees, Woodland and Hedgerows
- Strategic Policy SD19 - Transport and Accessibility
- Development Management Policy SD22 - Parking Provision
- Strategic Policy SD23 – Sustainable Tourism
- Strategic Policy SD25 - Development Strategy

Partnership Management Plan

The Environment Act 1995 requires National Parks to produce a Management Plan setting out strategic management objectives to deliver the National Park Purposes and Duty. National Planning Policy Guidance (NPPG) states that Management Plans "contribute to setting the strategic context for development" and "are material considerations in making decisions on individual planning applications." The South Downs Partnership Management Plan as amended for 2020-2025 on 19 December 2019, sets out a Vision, Outcomes, Policies and a Delivery Framework for the National Park over the next five years. The relevant policies include:

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- Partnership Management Plan Policy 1
- Partnership Management Plan Policy 3
- Partnership Management Plan Policy 10

Twyford Neighbourhood Plan – Policies BE1 and BE2Supplementary Planning Document

Biodiversity Net Gain TAN March 2024

Parking SPD April 2021

Ecosystems Services TAN

Dark Skies TAN May 2021

Sustainable Construction SPD August 2020

Design Guide SPD August 2022

Planning Considerations**Principle of development**

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and Paragraph 48 of the NPPF require that applications for planning permissions must be made in accordance with the Development Plan unless material considerations indicate otherwise.

There have been various reports of breaches of planning permission/conditions but none have these have led to any enforcement action. All conditions relating to Annex 1 and Annex 2 of appeal decision APP/Y9507/C/12/2170687 have been discharged under application ref: SDNP/12/03049/DCOND. Therefore, it is considered that the use as a tourism site has been lawfully implemented. It was not a condition of the permission that all 5 yurts should be erected at one time.

The site has an existing tourism use and policy SD23 2 a) seeks to retain existing visitor accommodation and any loss would need evidence to demonstrate it is unviable. Therefore, it is a material consideration to retain the visitor accommodation.

Policy ST1 3) of the Twyford Neighbourhood Plan sets out that Visitor accommodation will only be supported within the settlement boundary unless the circumstances as set out in Strategic Policy SD 23 Part 1 g) apply to the site or the building concerned.

Policy SD23 of the Local Plan allows for sustainable tourism where it is in accordance with the relevant criteria. Criterion g), as referred to in Policy ST1 3) of the Twyford Neighbourhood Plan, sets out three criteria which proposals outside settlement policy boundaries should be in accordance with. The following two criteria are applicable.

- i) It is considered that the existing site makes a positive contribution to the landscape, natural beauty, wildlife and cultural heritage of the National Park.

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- The Planning Inspector did not consider that the yurts at the time would harm the special qualities of the NP. Since that time the landscaping within the site has developed and been maintained, with wildflower meadows and other planting. This is to be further enhanced through this application.
- ii) The site is closely associated with other attractions/established tourism uses, including the public rights of way network
- There are an abundance of public rights of way close to the site, linking to the wider National Park, including Pilgrims Trail and Twyford Pumping Station to the south-east, reducing reliance on a private car/sustainable onward travel. The site is close to the centre of Twyford (walking distance) and has a number of good facilities and services. Good public transport links are also available into Winchester and further afield from Shawford train station.

It is therefore considered that the proposed development is in accordance with Policy ST1 of the Twyford Neighbourhood Plan and Policy SD23 g) and the principle of development is acceptable.

Twyford Parish Council have cited that policy LHE1 of the Twyford Neighbourhood Plan is applicable. However, this policy relates to sites within the settlement gap whereas the site is located outside of this 'settlement gap', but policy ST1 - Visitor Attractions and Tourism Facilities does apply, which states in regard to existing tourism sites:

1. The enhancement of existing visitor attractions will be supported in accordance with Policy SD 23.

The site is a lawful existing tourism site and as such cannot be considered in conjunction with other nearby proposals for tourism accommodation.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

Impact on character and appearance of area

The site sits on a lower ground level than the main road and is densely vegetated with a high tree line along the road frontage.

There is currently a facilities building on the site and two of the five yurts were erected at the time of the site visit, as well as a small outbuilding along the north-east boundary. The yurts were allowed on appeal and the Planning Inspector did not consider that the yurts at the time would harm the special qualities of the National Park, as the *"site is almost completely surrounded by dense mature hedging...during the summer months, the only*

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clear views of the appeal site that can be obtained from the adjacent track and path are at the entrance gate.....the site is well screened, as noted above and is not at present contributing to the openness of a wider expanse of countryside. The area on which the yurts would stand would be contained within the wider field and the area of hardstanding on which the parking would take place exists and is authorised....paraphernalia would not be left outside due to security...traffic generated would not be excessive....As this site is not exposed to any significant public views, this would not, in my opinion, be a reason to refuse planning permission for the development."

The Landscape Officer's initial observations of the scheme were cautious, but further to a site visit and walk around the adjacent footpaths a landscape plan was submitted and Lodge 1 moved slightly further into the site, which will enhance the hedgerow along the south-western boundary. There is also further tree planting proposed to the south-east (within the meadow area), which will contribute to the site overall.

The proposals will make efficient use of an existing building which is sustainably located with very good access to the public rights of way network and reduces the reliance on a private car. The holiday accommodation will be a self-catered units and therefore the facilities building becomes redundant. In addition, the proposals would replace three seasonal yurts with seasonal sustainable holiday accommodation.

The proposed holiday lets are screened in views from the road and will only be seen in limited glimpse views from the public right of way to the north and south of the site.

The yurts are dome shaped buildings (7.4m x 3.4m high) of a white canvas type construction, which stand out within the landscape, although views from outside of the site are minimal. Although, the buildings are to be permanent structures, the materials palette proposed is more in keeping with the leafy surroundings. (timber cladding, green roof, slate). The height of the proposed buildings will be slightly higher than the yurts, with the curved lodge being approximately 4.65m high falling to 3m and 11.75m long and lodge 2 having a height of 6.2m at its highest point and 4.2m at its lowest single storey end with a length of 13.8m. Lodge 1 has a curved green roof and will follow the contours of the sloping land. A dense hedge runs along the boundary with the footpath, which is proposed to be strengthened with further planting along this boundary.

There are currently glimpses into the site from the footpath, but the proposal is not considered to be overbearing or visually impactful to users of the footpath. Lodge 1 is set away from the boundary. Lodge 2 will be sited next to the north-east boundary hedge, on the same side of the plot as the existing facilities building, which has a height of 4.2m. The converted facilities building will have a dormer window on the south-west elevation to allow it to be used as a 1 bed facility.

There are some views of the roof of the existing facilities building when approaching the site from the access, but they are not considered to be visually intrusive. It is considered that the additional building (Lodge 2) will result in a similar appearance from the access road.

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The proposed development would positively contribute to the natural beauty, wildlife and cultural heritage of the National Park and would make efficient use of an existing tourist accommodation site. Therefore, the proposal complies with policies SD4, SD5, SD23.

Development affecting the South Downs National Park

The application site is located within the South Downs National Park

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated December 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 189 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

The site has been in tourism use for approximately 14 years and has been developed over that time. The proposed tourist units will upgrade the facilities on site. The site is considered to be well screened and biodiversity and landscape enhances will mitigate the provision of the buildings.

Taking account of the Park's purpose to conserve and enhance the natural beauty, wildlife and cultural heritage of the area and promote understanding of its special qualities, the development has a neutral impact and does not therefore adversely conflict with the statutory purposes of the SDNP designation.

Historic Environment

The Twyford Conservation area boundary lies beyond the northern boundary of the site. The development lies 86m from Grade II listed barn and stable block at Manor Farm located within the Twyford Conservation Area.

Relevant Legislation

The preservation of the special architectural/historic interest of the listed building and its setting (S.66 P(LBCA) Act 1990; SD12 and SD13 (South Downs Local Plan); NPPF (2024) Section 16.

The preservation or enhancement of the character or appearance of the conservation area (S.72 P(LBCA) Act 1990; SD15 (South Downs Local Plan); NPPF (2024) Section 16.

Guidance

Where dealing with listed buildings, decision makers are required to have due regard to the "desirability of preserving the Listed building or its setting or any features of special architectural or historic interest which it possesses" under Section 16/66 of the Planning

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(Listed Buildings and Conservation Areas Act 1990). Case law has established that where an authority finds that a development proposal would harm the setting of a listed building, it must give that harm “considerable importance and weight”.

Where dealing with conservation areas, decision makers are required to pay special attention to the “desirability of preserving or enhancing the character or appearance of that area” under Section 72 of the Planning (Listed Buildings and Conservation Areas Act 1990).

The historic environment section of the Planning Practice Guidance further outlines the role of the Local Planning Authority in considering the effects of new development that are in the vicinity of or affect the setting of listing buildings and heritage assets. Paragraph 212 of the NPPF advises that great weight should be given to the conservation of a heritage asset in considering the impact of a proposal on its significance (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. Paragraph 213 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Policy SD12 and SD13 of SDLP ensure that development preserves and enhances heritage assets and their settings.

Due regard has been given to these requirements, as set out in the assessment within this report.

It is not considered that there will be any impact on the Conservation Area or its setting as there are no changes proposed to the land use of the site. In addition, there are no changes to the existing access arrangements and the development continues to be screened by vegetation and the intervening dwellings of Manor Farm Green.

The proposal is considered to preserve the character and appearance of the conservation area (S.72 P(LBCA) Act 1990; Policy SD15 of the South Downs Local Plan and NPPF (2024) and the historic environment section of the Planning Practice Guidance.

The development lies 86m from a Grade II listed barn and stable block at Manor Farm located within the Twyford Conservation Area. The proposal will not alter the impact on the setting of the adjacent listed building, which is separated by distance, vegetation and existing residential dwellings. There are no significant alterations which would alter this setting, the use of the land remains the same and the proposed buildings are appropriately positioned within the site with a fitting design and materials for its purpose and the area. It is therefore not considered to impact on the setting or historic fabric of the listed building.

It is considered that the proposals will preserve the significance of the listed building and its setting. The proposals would accord with the requirements of S66 of the P(LBCA) Act 1990, Section 16 para 212 of the NPPF (2024), Policy SD12 and SD13 of the South Downs Local Plan and the historic environment section of the Planning Practice Guidance.

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Neighbouring amenity

The NPPF requires developments to provide a good level of amenity for all new and existing occupants of land and buildings. Policy SD5 of the Local Plan seeks to ensure that development has regard to avoiding harmful impact upon, or from, any surrounding uses and amenities.

Due to the positioning of the buildings within the site the Lodge 1 will be over 15m from the very corner boundary of the nearest neighbour (6 Manor Farm Green) and 55m from the side of the dwelling. Lodge 2 will be somewhat obscured by the existing facilities building, which is the closest building to the neighbour, but is sited some 65m away from the boundary with 6 Manor Farm Green.

In regards to additional traffic, the buildings are a replacement for the authorised yurts, which would generate a similar amount of traffic, people and general noise if at full capacity. This was accepted by the Planning Inspector for appeal decision APP/Y9507/A/12/2168351.

Having regard to the above, the proposal is compliant with the NPPF and the relevant Policies of the SDNP Local Plan. Therefore, the proposal complies with policy SD5 of the SDLP and it is considered unlikely to result in any adverse impact on residential amenity to dwellings within Manor Farm Green either by traffic, noise and disturbance, overlooking, loss of light or through the creation of an overbearing structure. Therefore, it is not considered that the degree of harm will unduly impact on amenity of the nearby dwellings, therefore the proposal complies with policy SD5.

Sustainable Transport

Access to the site is from a private access lane taken from the end of the adopted highway Manor Farm Green.

The Highway Authority are of the view that the proposed changes may extend the potential number of days of use but would not be likely to significantly increase the flows on an average day above those that could be generated by a total of 5 yurts. Therefore there would be no significant impact on the operation and safety of Manor Farm Green or the junction with the B3335 High Street over and above those previously accepted.

Parking – There is space for 6 cars within the site on permeable hardstanding, which would equate to the number of bedrooms to be provided. Condition 9 ensures that these spaces are permanently provided.

Details of cycle parking have been conditioned (11) to be provided prior to occupation in order to ensure sustainable means of onward travel can be accommodated for.

Therefore, the proposal complies with policies SD19 and SD22 of the South Downs Local Plan and the degree of harm and general impact on highway safety, accessibility and parking is in line with Local Plan Policies.

**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE****Trees**

An Arboricultural Impact Assessment and Protection Plan were submitted, and the Tree Officer raised no objection. None of the trees are to be affected or removed. Further tree planting is to take place. (Condition 7).

Ecology and Biodiversity

An Ecological Appraisal (Hampshire Ecological Services, August 2022) was submitted with the application. This states that the facilities building has negligible potential for roosting bats. An eDNA survey was undertaken on the pond which was negative for great crested newt. All trees and hedgerows will be retained as part of the proposed development.

Reptile surveys were not considered necessary in the report, however there are areas of long grassland which may be impacted by the proposal. As such it was recommended that a Precautionary Method Statement for reptiles is included within a Construction Method Statement, which can be conditioned. It is also recommended that the outlined enhancement measures in section 5.6 of the report, external lighting and a Biodiversity Enhancement Plan also be conditioned. (conditions 9, 12, 13)

Due to the nature of the development and the distance between the application site and the European Protected Site of the Solent SAC and SPA and the River Itchen SAC, an Appropriate Assessment under the Conservation of Habitats & Species (Amendment) Regulations 2011 is not required.

Biodiversity Net Gain

The application was submitted prior to the mandatory requirement of BNG (i.e. before 12th February 2024), therefore the requirement of 10% net gain for BNG is not required in this instance. However, ecological enhancements are proposed in any case in the form of tree planting, additional hedgerow, planting to enhance the site for wildlife, new bat roost provision, lighting restrictions (for both bats and other wildlife), new bird nesting provision and new invertebrate boxes.

Nutrients

The application is effectively a like for like replacement in terms of amount of accommodation that can be lawfully available on the site. Therefore, as the proposal is restricted to seasonal months (condition 5), there is no increased impact on the water environment and no requirement for mitigation in regard to nutrients.

Therefore, the proposal complies with policy SD2 and SD9.

Sustainable Drainage

Surface water will drain into the land as existing. There is also a pond to the south-west of the site.

Foul drainage will drain to a new package treatment plant, which will update the existing facilities and will remove more pollutants at source than the existing arrangement.

Condition 15 requests further details of foul and surface water drainage to be submitted.

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Therefore, the proposal complies with policy SD50.

Other Topics**Dark Night Skies**

The South Downs National Park has been designated an International Dark Skies reserve. As such, it is sought to reduce any light pollution associated with new development. Particular care will be taken where sites are within sensitive areas, for example where located in one of the three core zones of the Dark Night Skies Reserve.

The application site is located within Dark Night Sky Zone E1b - Transition Zone. There are rooflights proposed within Lodge 2 and a condition has been added to ensure that integral blackout blinds or low transmittance glass are installed, which is confirmed within the Planning Statement (condition 16).

No external lighting has been proposed as part of the submission. However, should any lighting be required a condition has been applied to ensure that a comprehensive external lighting scheme is submitted and should be designed to avoid obtrusive light with the potential to adversely affect residential and ecological receptors. It adds that measures proposed to mitigate impacts on ecological receptors will overlap with measures for minimising the effects of lighting on the dark night skies in accordance with SDLP policy SD8 (Condition 10).

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The principle of the development within the countryside is acceptable and the development would not have a significant adverse impact upon the character and appearance of the site and wider area. The proposal is not considered to lead to an adverse impact upon the amenities of the neighbouring properties.

In conclusion and based on the upon the above assessment, the proposal is acceptable and will not have an adverse impact upon the site and surrounding area. The development therefore complies with policies SD4, SD5, SD19, SD22, SD23 and SD25 of the SDLP.

Based on the evidence submitted and the consultation responses, the application is considered to be acceptable and in accordance with the Development Plan and is recommended for approval.

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**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE****Recommendation**

Permit subject to the following conditions:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the plans listed below under the heading "Plans Referred to in Consideration of this Application".

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The development hereby permitted shall be used for holiday accommodation only and shall be used for no other purpose (including any other purpose within Class C3 of the Schedule to the Town and Country Planning (Use Classes) Order 1987, or any Order revoking and re-enacting that order with or without modification.)

Reason: To maintain the availability of the site as short term holiday tourist accommodation.

4. Holiday occupancy:

- (i) the holiday accommodation units shall be occupied for holiday purposes only.
- (ii) the holiday accommodation units shall not be occupied as a person's sole or main place of residence
- (iii) the owners shall maintain an up-to-date register of the names of all occupiers of the individual holiday accommodation units on the site, their arrival and departure dates and their main home addresses, and shall make this information available at all reasonable times to the Local Planning Authority

Reason: The site is outside defined settlement limits in the open countryside, where permanent dwellings with unrestricted occupation would be contrary to adopted planning policy, however the application is considered to be in accordance with the National Planning Policy Framework.

5. The holiday accommodation on the site may be occupied only between the months of April and October inclusive and shall not be occupied at any time other than for purposes of short let holiday accommodation and shall not be used, let or sold for permanent residential accommodation.

Reason: To ensure that the holiday accommodation is occupied in accordance with the justification for the development provided.

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6. The holiday accommodation hereby permitted shall be restricted to the following amounts of accommodation:

- Conversion of existing facilities building to holiday let
- 1 no: two bedroom holiday unit
- 1 no: three bedroom holiday unit
- retention of 2 no: yurt for ancillary use

The remaining 3 no: yurts subject to appeal decision ref: APP/Y9507/A/12/2168351 shall be permanently removed from the site prior to the occupation of the development hereby approved.

Reason: To enable the Local Planning Authority to regulate and control the development of land and to preserve the visual amenities of the locality.

7. Protective measures, including fencing and ground protection, in accordance with the Arboricultural Impact Assessment and Method Statement ref:- HBD2213IAMSRI written by Helen Brown of Helen Brown Treescapes and submitted to the Local Planning Authority shall be installed prior to any demolition, construction or groundwork commencing on the site.

Inspection of fencing

The Arboricultural Officer shall be informed once protective measures have been installed so that the Construction Exclusion Zone (CEZ) can be inspected and deemed appropriate and in accordance with the Arboricultural Impact Assessment, Arboricultural Method Statement, ref:- HBD2213IAMSRI and Tree Protection Plan Ref:- HB1 Telephone - Tree Officer. 01962 848360

Limit of arboricultural work

No arboricultural works shall be carried out to trees other than those specified and in accordance with the Arboricultural Impact Assessment and Method Statement Ref:- HBD2213IAMSRI

No deviation from agreed method statement

Any deviation from works prescribed or methods agreed in accordance with the Arboricultural Impact Assessment and Method Statement Ref:- HBD2213IAMSRI: shall be agreed in writing to the Local Planning Authority.

Arboricultural Supervision

No development, or site preparation prior to operations which has any effect on compacting, disturbing or altering the levels of the site, shall take place until a person

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suitably qualified in arboriculture, and approved as suitable by the Local Planning Authority, has been appointed to supervise construction activity occurring on the site. The arboricultural supervisor will be responsible for the implementation of protective measures, special surfacing and all works deemed necessary by the approved arboricultural method statement. Where ground measures are deemed necessary to protect root protection areas, the arboricultural supervisor shall ensure that these are installed prior to any vehicle movement, earth moving or construction activity occurring on the site and that all such measures to protect trees are inspected by the Local Planning Authority Arboricultural Officer prior to commencement of development work.

Pre-commencement meeting

A pre-commencement meeting will be held on site before any of the site clearance and construction works begins. This will be attended by the site manager, the Arboricultural consultant and the Local Planning Authority Tree Officer.

Reason: to ensure protection and long term viability of retained trees and to minimise impact of construction activity.

8. No development shall be carried out above ground floor slab level until a schedule of external materials finishes and samples to be used on the development hereby approved has been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in full accordance with the approved schedule and samples.

Reason: To safeguard the appearance of the building and the character of the area and to enable the Local Planning Authority to properly consider the development. It is considered necessary of this to be a pre-commencement condition as these details need to be agreed prior to the construction of the development and thus go to the heart of the planning permission.

9. A Construction Environmental Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. This will show how construction will avoid, minimise or mitigate effects on the River Itchen SAC and nearby pond. This shall include storage of any equipment/machinery/materials/chemicals, dust suppression, chemical or fuel run-off from construction, waste disposal, noise/visual/vibrational impacts and lighting and shall also include a Precautionary Method Statement for reptiles.

Reason: To protect the River Itchen SAC, pond, safeguard protected species and maintain biodiversity in line with Strategic Policy SD9 and the NPPF.

10. Before the development hereby approved is first brought into use, a minimum of 6 car parking spaces shall be provided within the curtilage of the site and thereafter maintained and kept available.

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Reason: To ensure adequate car parking provision within the site in accordance with the standards of the Local Planning Authority.

11. Details of covered cycle storage shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory development and in the interests of amenity.

12. A Biodiversity Mitigation and Enhancement Strategy (BMES) shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. This shall be adhered to throughout all phases of the development and any compensation, mitigation and enhancement features shall be sited prior to the development coming into its intended use and retained thereafter. It shall adhere to the 'Outline enhancement measures' in paragraph 5.6 of Ecological Appraisal Report dated August 2022 written by Hampshire Ecological Services Ltd.

Reason: To safeguard protected species, maintain and enhance biodiversity in accordance with strategic policy SD9.

13. Details of any external lighting of the site shall be submitted to and approved in writing by the Local Planning Authority prior to the occupation of the development. The lighting scheme should be in accordance with Guidance Note 08/18 produced by the Bat Conservation Trust and Institute of Lighting Professionals. This information shall include a layout plan with beam orientation and a schedule of equipment in the design (luminaire type, mounting height, aiming angles and luminaire profiles). The lighting shall be installed, maintained and operated in accordance with the approved details unless the Local Planning Authority gives its written consent to the variation.

Reason: To protect the appearance of the area, Dark Night Skies, the environment and protected species from light pollution.

14. A detailed scheme for landscaping, tree and/or shrub planting shall be submitted to and approved in writing by the Local Planning Authority before development commences. The scheme shall specify species, density, planting, size and layout. The scheme approved shall be carried out in the first planting season following the occupation of the building or the completion of the development whichever is the sooner. If within a period of 5 years from the date of planting, any trees, shrubs or plants die, are removed or, in the opinion of the Local Planning Authority, become seriously damaged or defective, others of the same species and size as that originally planted shall be planted at the same place, in the next planting season, unless the Local Planning Authority gives its written consent to any variation.

Reason: To ensure a satisfactory development and in the interests of amenity and landscape character.

15. Detailed proposals for the disposal of foul and surface water shall be submitted to

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and approved in writing by the Local Planning Authority before the commencement of the development hereby permitted. The approved details shall be fully implemented before development can begin. Percolation testing and infiltration testing is required for the drainage field and soakaway.

Reason: To ensure satisfactory provision of foul and surface water drainage.

16. The development hereby permitted shall not be occupied until integral blackout blinds or low transmittance glass have been installed to all proposed roof lights. The blackout blinds shall be kept closed during night time hours and retained at all times.

Reason: To minimise light intrusion in the South Downs National Park which is a designated International Dark Sky Reserve.

Informatives**Crime and Disorder Implications**

It is considered that the proposal does not raise any crime and disorder implications.

Human Rights Implications

This planning application has been considered in light of statute and case law and any interference with an individual's human rights is considered to be proportionate to the aims sought to be realised.

Equality Act 2010

Due regard has been taken of the South Downs National Park Authority's equality duty as contained within the Equality Act 2010.

Proactive Working

The application required additional information and the Local Planning Authority worked with the agent to achieve a positive solution after amended plans were requested and received which were acceptable.

Plans Referred to in Consideration of this Application

The application has been assessed and recommendation is made on the basis of the following plans and documents submitted:

Plan Type	Reference	Version	Date Received	Status
Plans -	BLOCK PLAN AS PROPOSED - DETAILING LANDSCAPING		19.01.2023	Approved
Plans -	SITE		30.08.2022	Approved

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	LOCATION PLAN			
Plans -	ELEVATIONS AND FLOOR PLANS - CHANDRA'S LODGE		30.08.2022	Approved
Plans -	ELEVATIONS AS PROPOSED - LODGE 2		30.08.2022	Approved
Plans -	FLOOR PLANS AS PROPOSED - LODGE 2		30.08.2022	Approved
Plans -	ELEVATIONS AND FLOOR PLANS - EXISTING AND PROPOSED - UTILITY BUILDING		30.08.2022	Approved
Plans -	BLOCK PLAN EXISTING		30.08.2022	Approved

Reasons: For the avoidance of doubt and in the interests of proper planning.

Appendix 1

Twyford Parish Council

Is the Application in accordance with Policy?

The proposed development is for the erection and conversion of buildings for tourist accommodation with continued seasonal use for 2 yurts. The proposal is: outside the Settlement boundary; in a gap between settlements; adjacent to the Twyford Conservation area; close to a group of dominant listed buildings; within a landscape with historic features; contiguous to residential development; occupies a small site between residential and large-scale farm buildings in active use; it is adjacent to public footpaths.

Similar development is currently being proposed to the north of the B3335 15 m from this site and the owner's land.

The policies that apply in this case are:

1. Development outside the settlement boundary TNP ST1; ST2; SDLP ST 25
2. Tourism accommodation TNP ST1 and SDLP 23
3. Development in Gaps between settlements: TNP LHE 1 and SDLP 4.

3. Conservation areas TNP

4. LHE 3 and CA/LHE 2; SDLP SD72 and Twyford Conservation Area 1986

5. Listed buildings TNP LHE 3; SDLP SD 71

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6. Historic landscape TNP LHE3; SDLP SD 12
7. Landscape Character TNP LHE 2 SDLP SD 46
8. Public footpaths SDLP 20
9. Requirement to consider proposals in combination SDLP SD 1.3
10. Duty of LPA to “foster the economic and social well-being of local communities within the National Park”. Environment Act 1995 para 62

1 and 2: Tourism and the Countryside

The applicant states in the Planning Design and Access statement that the SDLP SD 23 is the most important policy. It goes on to claim, firstly, that the site is already confirmed as a tourist location by virtue of the previous consents and, secondly, that it meets the test set in SD23 of being closely associated with the public rights of way network.

TPC’s response to the first point is that the status of the planning consent is disputed. The test of being closely associated with the public rights of way network would appear to be an absurdly easy one to pass as there are public rights of way scattered throughout the National Park, - some close to settlements and others in the most remote parts. It would be absurd to conclude that simply relying on SD23 1 g. iv would justify a proposal for tourist accommodation, whether for many units or just one.

The potential for random development in sensitive locations in the countryside is demonstrated by these two Twyford applications (the other being SDNP/22/02180/FUL) on adjacent fields currently before the council. Both use TNP as SDLP 23.g.ii as their primary justification. TNP ST 1 is in line and follows SDLP 23. TPC believes additional criteria is required to enable this policy to be applied without causing material harm to the natural beauty of the National Park.

Fortunately, both SDLP and TNP include safeguards which allow the Planning Authority to permit the tourist accommodation policies to be applied positively without these harmful effects, as follows. The principal policies for development outside the settlement boundary are SB2 in the TNP and SD25 in SDLP. Both these policies allow development outside the settlement boundaries when it is with other policies of the respective plans. However, this is subject to the overriding requirement that this should only be “**Exceptional**”. This is an additional test as SDLP SD 25.2 makes clear with the use of “**and**” in SD25.2. TNP SD 2 follows SDLP SD 25. TPC notes that the submissions of the applicant do not address this additional requirement.

“Exceptional” is not defined by SDLP or TNP. TPC suggests that the tests to decide whether the case is truly “exceptional” should be:

- A. demonstration of need - in line with SD25.2 and TNP SB.2 (b)
- B. community acceptability following consultation - to meet Statutory duty imposed by Environment Act 1995 para 62 b. (as quoted above)
- C. positive benefit for landscape - to meet statutory duty to enhance Natural Beauty of the National Park
- D. conformity with other Development Plan policies should be positive not marginal.

These tests are, of course, in addition to the multiple other tests set by the policies of the TNP read in conjunction with the SDLP.

A Demonstration of Need

The application contains no evidence of need or even of any tourism activity on the site. To justify the intensification of the 5-yurt use, TPC would have expected evidence of unmet demand, but none is forthcoming. The applicant claims that the yurt consent is not viable as explaining his failure to erect three of the five yurts in the past 10 years, but no figures are given in support. Andrew Johnson’s well-presented objection points out the inconsistencies and lack of evidence. The application does not explain why the yurts do not produce sufficient income to cover costs.

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Neighbours comment on the complete absence of customers over many years either. The lack of promotional advertising is noted by neighbours in their objections and TPC can find only one photograph of the site on the web but without access to make a booking or the contact details of the site owner.

As Andrew Jonson points out, the explanation given for the failure to erect 3 of the 5 yurts undermines the justification for the heavy capital expenditure involved in the new build. TPC's considers the narrative presented is simply not credible. A business case using figures from the past 10 years should be required with evidence of the marketing undertaken by the applicant and then projections for the proposed development to demonstrate viability. The objection by Andrew Johnson shows that there are multiple other opportunities within Twyford itself for visitors without the need for additional buildings. There are many opportunities in the settlements close to Twyford which would allow access to the National Park without the need for additional accommodation outside the settlement boundary in the highly protected countryside of the SDNP. Further work is required to demonstrate why the existing supply in Twyford and outside the National Park supply is inadequate. No exceptional case has been made.

B. Community Acceptability

It is unusual for there to be so many objections to a proposal and for those objections to be supported by such a wide range of arguments including suspicion of the motives of the applicant. It is notable also that similar numbers of objections are submitted for the application (SDNP/22/02180/FUL) at Hare Lane for Eco lodges and the conversion of stables. Neither application is popular. In this case many base their objections on the Twyford Neighbourhood Plan; the TNP provides multiple opportunities for development both in the settlement boundary and in the countryside, but its priority, as required by the statutory duty for National Parks, is the preservation of natural beauty.

In the TNP, a suite of policies set the framework for this protection, in line with the Statutory Policies of the SDLP. The TNP has always had the social and economic interests of the local community as its focus and it enjoyed substantial community support in the Parish Referendum where 83% voted in favour. It is these same people who see this application to be contrary to its carefully worked strategy of balance between development and protection.

The Planning Authority should not permit his application in the face of such clear community opposition; it cannot be said to foster the social wellbeing of the Twyford Community and will have the opposite effect.

C. Positive Impact on the Landscape.

D. Positive response to Conformity with other Policies

These are addressed in the consideration of the other policies below.

The conclusion is that several of the impacts are negative and even where strict conformity to a policy can be shown it is at the best being "neutral" in the planning balance and not positive. The application cannot be said to be **exceptional** on these tests. In the absence of any other justification from the applicant to address this fundamental policy, the application should be refused.

Missing key information in application

The application is missing key information

- Analysis of context, surrounding uses
- Identification of historic landscape /Heritage statement

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- “In combination” effects
- Landscaping proposals and details require by the Appeals inspector in 2012, including definition of site boundary by fencing
- The status of the residue of the land
- Full analysis of the Policy position

The Context, Surrounding Uses and Historic Landscape and Heritage

The Sanctuary site occupies approximately 0.95 ha on the southern edge of the village, with the yurt area comprising approx. one quarter of this, A paddock /amenity land occupies the majority of the site and a pond in the narrow bottom corner . This is the extent of the applicant’s ownership. To the south is an arable field separated by a well-used fenced public footpath; this links across B3335 to Hare Lane and a network of further paths.

Adjacent to the site is Manor Farm Green, which was planned as a whole to secure the preservation and future use of the historic listed Manor Farm. The farm itself forms part of a larger group together with the listed Manor House and Monastery (private houses) all grouped in a rectangular block dating from Elizabethan times or earlier; it is an exceptional group of historic buildings, reflecting its unified ownership and function and retaining its historic relationship with the agricultural land to the south. The whole complex is within the Twyford Conservation Area. The preservation of the barn was financed by the redevelopment of the modern farm buildings into housing. The layout followed the footprint of the farm buildings, and a further pair of houses was added to the Victorian terrace of farm cottages. This resulted in an attractive layout with design purpose which is clearly evident and respected the form of the buildings they replaced. Since this development that took place about 20 years ago, there has been no other housing in the vicinity nor has there been any substantial modification of the manor farm designs.

Manor Farm is at the entry to the village as it has been since probably before 1570. There is a sharp division between the built form of the village and the countryside, so the first impression on entry into the village is of the group of Manor Farm buildings dominated by the great barn. It is a dramatic entry, and its survival is also unusual. It is also seen by every user of the B3335, so is of exceptional visibility. The access to the Yurt site is through Manor Farm Green (and through the Twyford Conservation area); the new buildings are so close as to be visually a continuation of the Manor Farm Buildings. Clearly they do not complement them and instead appear to be random buildings with no coordinated design as the landscape officer notes and judges to be contrary to policy.

None of this is acknowledged by the application nor taken as the starting point for how they are designed. Consequently they fail to comply with SD23 1 c and the range of supporting policies from the protection and enhancement of natural beauty in TNP and SDLP.

[NOTE: The Landscape officer’s comments appear to leave out a crucial ‘not’ which is needed to make sense of their conclusions. The excerpt is as follows with the missing ‘not’ in square brackets: “Whilst some quantum of development would seem to be possible to replace the yurts (notwithstanding other planning considerations), the drawings presented do [not] show a scheme that appears to respond well to the situation or fully takes account of views from the surroundings and therefore not fully meet policy as shown above.”]

At present the Sanctuary land is shut off behind gates and hedges; this is because it is not actively used as a holiday site. The site is bound to become more open if the development is constructed and the holiday use commenced. The gates will be removed or left open, the access widened the car park extended to a proper size and the buildings will be much taller. [See further comments below] They cannot be hidden as the Planning Application and Visual Appraisal appear to suggest.

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And they should not be; the SDLP and TNP objectives are that new development should enhance the area, not be hidden. At the end of the lane are farm buildings in active use. The scale of these buildings is large but they are well sited and their bulk is masked by trees and hedges. They stand separated from Manor Farm Green, with a countryside gap between them i.e. the Sanctuary site. The farm buildings despite their scale are an appropriate type of building that you expect to see function in the countryside.

The modern farmyard site is contiguous to the yurt site so needs to take account of this relationship too. At present this is done by the small scale of the yurt, hedging and trees as the farm buildings and the yurts are not on the whole seen together. This will change with the taller buildings and the change in form of the facilities building.

The planning application does not properly acknowledge the significance of the lane which is the continuation of Manor Farm Green giving access to the modern farmyard and the meadows on the valley floor. There is no note on it in either the Landscape appraisal or the Ecologists otherwise very full report. This is an ancient lane, dominated on its north side by a number of fully mature oaks. There are hedges on both sides. To the north the hedge is fully intact and contains a wide variety of woody plants which further indicate its antiquity. The hedge to the south is in poor condition; elm which has died from the Dutch Elm disease has been replaced by bramble. It still in its original position; the western end has been replanted already: the restoration of the remainder would re-establish the historic and landscape integrity of the lane as well as providing a better visual screen to the development.

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At the end of the lane are farm buildings in active use. The scale of these buildings is large but they are well sited and their bulk is masked by trees and hedges. They stand separated from Manor Farm Green, with a countryside gap between them i.e. the Sanctuary site. The farm buildings despite their scale are an appropriate type of building that you expect to see function in the countryside.

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WINCHESTER CITY COUNCIL PLANNING COMMITTEE

very full report. This is an ancient lane, dominated on its north side by a number of fully mature oaks. There are hedges on both sides. To the north the hedge is fully intact and contains a wide variety of woody plants which further indicate its antiquity. The hedge to the south is in poor condition; elm which has died from the Dutch Elm disease has been replaced by bramble. It still in its original position; the western end has been replanted already: the restoration of the remainder would re-establish the historic and landscape integrity of the lane as well as providing a better visual screen to the development.

It must be borne in mind that the countryside is being radically changed as the result of various tree pandemics, most recently ash die back which affects approx. 90% of as both young and mature. Wholesale felling of affected trees has resulted in the loss of screening on which many developments rely. This is another matter for the landscape plan assessment to take into account. There is a small historic Toll Gate cottage at the SE tip of the Sanctuary and a small farm shed beyond. Otherwise this part of the countryside gap is without buildings

North of B3335, the land is in horsiculture and agriculture. There is a free range chicken farm with long low buildings and consent for a house. There is an application to build eco lodges and modify the horse stables on the horsiculture land which is currently being considered. The field is to change from horse to leisure use The buildings will be visible from vantage points including B3335. Upgrading of the access is to be expected with some removal of trees

The site is adjacent to the strategic gap between Colden Common and Twyford defined and protected by LHE1; this site is also within that same gap and is subject to the definition of Landscape character in SDLP SD 3. Which reads:

"The settlement pattern and individual identity of settlements and the integrity of predominantly open and undeveloped land between settlements will not be undermined"

TPC 's consider that this application will do exactly what SD3 is seeking to prevent, both on its own and in conjunction with the eco lodge proposals north of B3335.

The application: unresolved issues between plans, the Description, and Operation

The Plans

- are not consistent with the description; the plans show " 1 x bed ; 1 x2 bed; 1 x 3 bed. See Andrew Johnson representation

- create confusion as to whether Lodge 2 is 1 x 3 bed or 1x1 bed plus 1x 2 bed.

See Andrew Johnson representation

- do not explain the odd configuration of Lodge 2 with a 25 m courtyard and a hall dividing the unit into two.

- wish to convert the Facilities Building into accommodation but do not show anywhere the occupants of the two yurts are expected to shower wash or w/c. There is no replacement for the existing facilities/storage space. Will this be applied for later?

- show inadequate parking and turning. The Application form indicates 6 spaces. The parking areas currently measures approx. 10 m by 15 m approached through inward opening double doors; the plans do not show the turning on site. It is not clear that this number can be achieved and allow for turning. In any case 6 spaces seems inadequate for three units (or four) with 5 bed spaces plus the two retained yurts. The numbers of cars allowed for should be reassessed, to include service vehicles and visitors; the capacity of the area provided should be tested to demonstrate the feasibility of the layout, to include turning. If as seems likely, additional space is required , the layout should be amended. The principle of a single access to the site

- and a single parking area should be retained to avoid cars spilling out over the whole site with associated works and hard standings. The enlarged car parking area is likely to affect the siting of Lodge 2.

- There is no provision for cycles.

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WINCHESTER CITY COUNCIL PLANNING COMMITTEE

- do not show how the site will operate, e.g. paths to the units , private vs common space
- do not show boundary treatments, lighting, landscape proposals although detailed recommendations are made in the Ecologists report.
- do not explain why a large dormer window is needed for a storage area (the facilities building). The implication is that a bedroom is intended.
- provides no details of drainage or waste disposal . This is a serious omission since the site is close to the River Itchen SAC as the Ecologists reports notes but the Application form does not. The concern of Southern Water in ensuring that effluent from housing in Twyford is properly handled so as not to affect the River Itchen is shown in the condition attached to the housing site allocated in the village centre see TNP DB1.I.
- give no details of nitrate emissions or proposed mitigation in accordance with TNP PO1
- do not include the proposed change of use of the remainder of the site (0.6 ha) approx. from agriculture to amenity land to be used in association with the holiday accommodation.
- do not provide an adequate framework for the further development to which this application seems likely to lead (e.g. provision of replacement facilities building; replacement of one or more yurts with holiday dwelling; infill of courtyard to enlarge Lodge 2)
- This is a formidable list of omissions and uncertainties which should be clarified before the application is considered any further. At present the Parish Council has an incomplete picture of what is proposed so cannot properly assess the impact. If the plans are amended then there should be a further round of consultation.

The Design.

The proposals are for five structures with four radically different designs, - two yurts, one modified woodstore, one two storey building with a curved roof and one with a ridged two storey element. None of these structures relate to either of the two sets of buildings on either side, - the farm complex and Manor Farm Green. Four of the buildings are set in the circle designed for the yurts. The circle of yurts had some coherence; they were five identical units, with strong simple shapes forming a sort of camp. However the substitution of buildings for yurts destroys this coherence. It creates instead a random assortment of buildings with no special countryside connection. Even the log store/facilities building which is a simple farm shape is modified with a dormer which turns it into a suburban bungalow so all are unrelated and unsympathetic both to each other and to their surroundings. The juxtaposition of yurts to this assortment of newbuild is also bizarre and appears a stepping stone to its replacement with a further buildings.

Contrary to the claim of the applicant, the application fails the tests in SD23 d and g.i.
The Landscape Officers comments set the design failures out very clearly.

Bad neighbour

Holiday units may be bad neighbours to residential from regular outdoor partying especially in the summer months. Here the holiday use is immediately adjacent to residential property.
The proposed holiday use is also at risk from disturbance from normal farm operations.

Summary

This is an application which does not seem to be what it is claimed to be. There are a significant number of anomalies contained within the application and which has resulted in much local opposition.

The site is not an established tourist site and that the 2012 consent may have lapsed. Even if the consent is valid, the consent has never been implemented in full and the field has not operated

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WINCHESTER CITY COUNCIL
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either fully or regularly as a normal tourist site, if at all. The explanation for not erecting the yurts also undermines the viability of the new build.

There is no evidence of need for these holiday units; Andrew Johnson demonstrates there are ample opportunities to secure accommodation for holiday makers within the settlement boundaries nor has a business case been made.

The Facilities Building gives every appearance to be an occupied dwelling. It is fitted out, fully stocked and furnished as a dwelling with a kitchen, sitting room and bedroom. Neighbours have complained to Planning Enforcement over time that it is being lived in by the former applicant, the father of the present applicant.

The conditions imposed on the 2012 consents have not been carried out particularly safety issues around the pond.

The proposals themselves lie outside the settlement boundary which is subject to a suite of policies to protect it as gap, countryside, historic landscape and proximity to SAC. These policies are considered only negatively as constraint by the application, not in the positive spirit in which they were prepared.

There are serious shortcomings in the plans submitted for the buildings that create confusion about the intention of the applicant and prevent a full picture of the proposals being formed by consultees and the public.

The proposals do not respond to the character of the area and will cause harm because of visibility, because they will be higher and permanent (unlike the seasonal erection of the yurts). The Application relies primarily on TNP ST1 and SDLP 23 in particular 1.g; other policies apply. The application does not attempt to address the requirement of SD 25 to be "exceptional"; the case is not exceptional as set out above.

The proposals are adjacent to buildings in conservation area, close to listed building and to a carefully designed group of buildings to which it does not relate nor properly consider. Nor do the buildings relate well to each other and are a random set of four differing designs, to which the Landscape officer has rightly pointed out the conflict with policy.

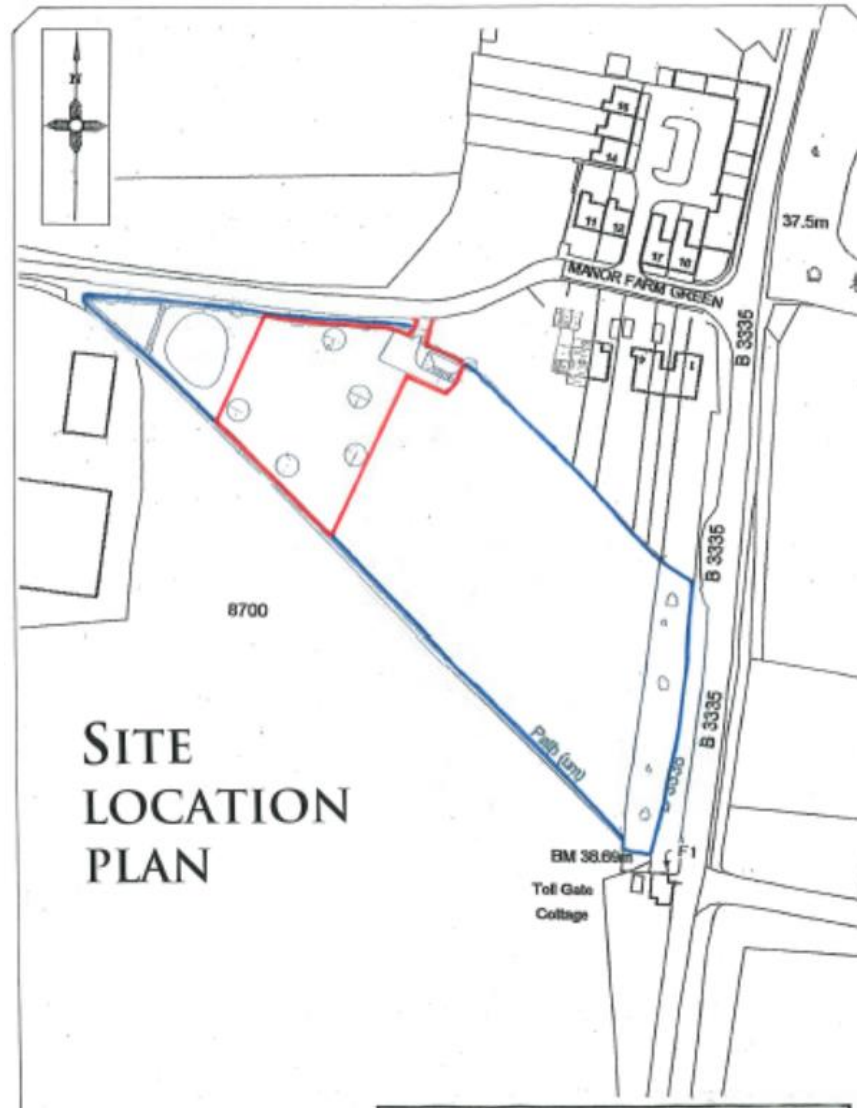
The application should be considered in combination with SDNP/22/02180/FUL, the conversion of the stables and eco lodges currently before the council on the adjacent land across the B3335. These are for the same tourist use with radically differing designs and randomly located in the countryside and gap between settlements. If both are permitted it will create a major change of use to leisure and a "honey pot" with unexplored consequences that could alter the character of the area.

The application should be refused and the status of the 2012 consent examined to see if enforcement action should be taken to regularise or discontinue the current use

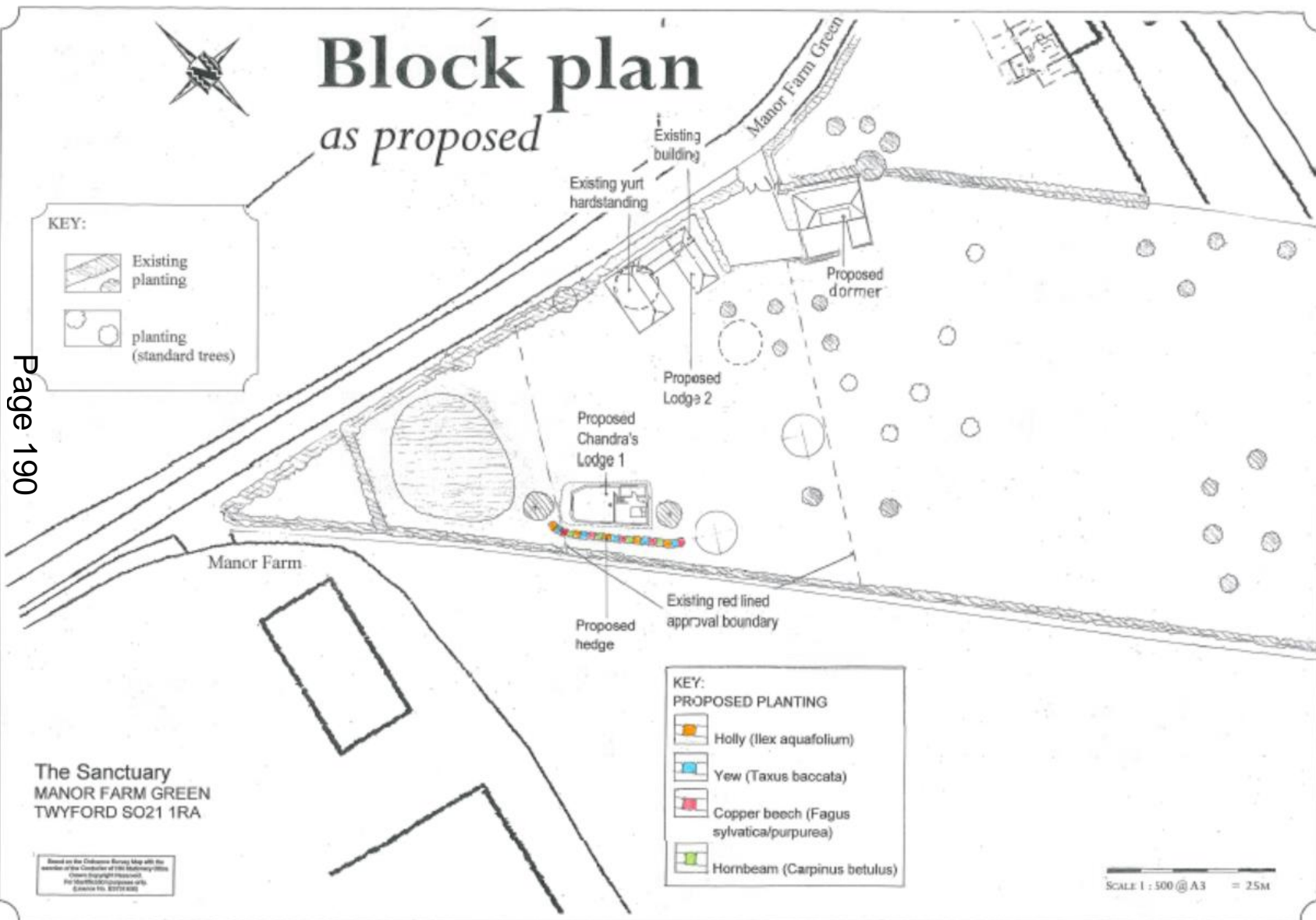
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SDNP/22/04058/FUL– The Sanctuary, Manor Farm Green, Twyford

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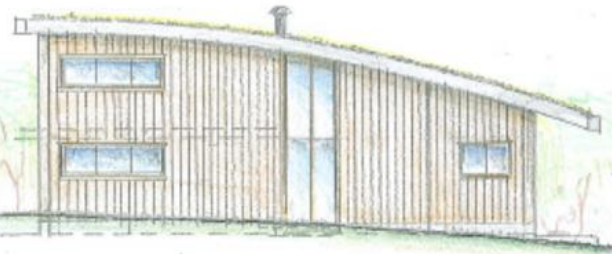
Proposed Site Plan



Proposed Elevations and Floor Plans – Lodge 1

Elevations & floor plans as proposed

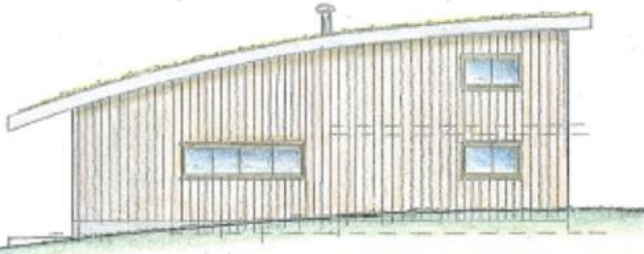
Chandra's Lodge



Front - North East



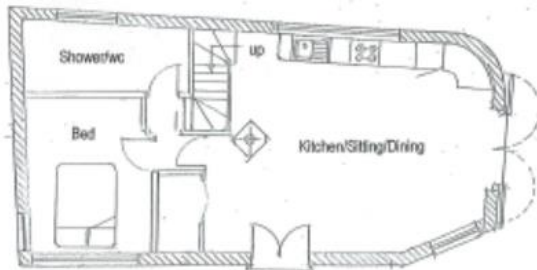
Side - North West



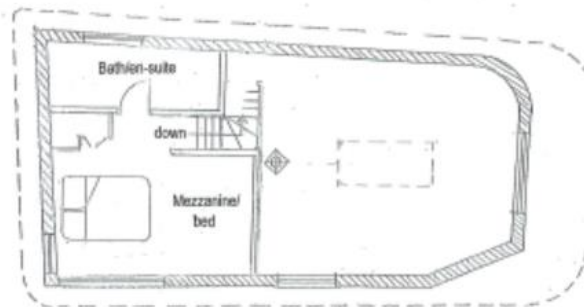
Rear - South West



Side - South East



Ground



First



2

/ 7



Scale 1:100 @ A3 = 5m

Proposed Elevations – Lodge 2

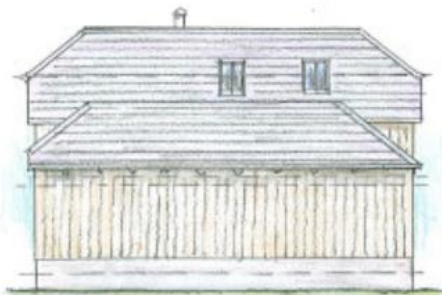
Lodge 2



A FRONT - NORTH WEST



B SIDE - SOUTH WEST



C REAR - SOUTH EAST



D SIDE - NORTH EAST



AI NORTH WEST



CI SOUTH EAST

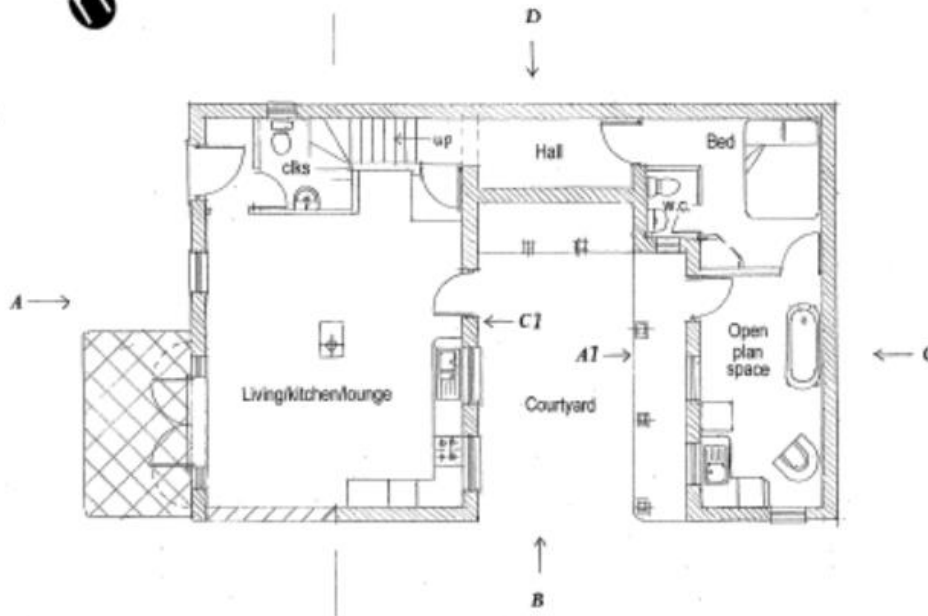
*Elevations
as proposed*

Scale 1 : 100 @ A3 = 5m

Floor Plans – Lodge 2

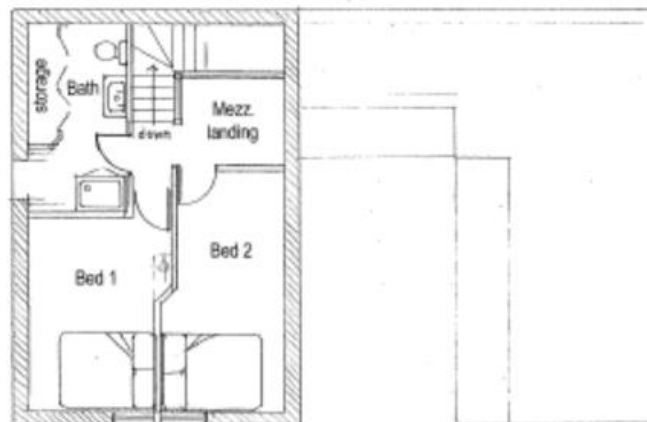
Lodge 2

GROUND



*Floor plans
as proposed*

FIRST



Roof plan



Scale 1 : 100 @ A3 = 5m

Scale 1 : 200 @ A3 = 10m

Utility Building – Existing and Proposed

Elevations & floor plan as existing

Elevations & floor plan as proposed



FRONT -
SOUTH WEST



SIDE -
SOUTH EAST



FRONT -
SOUTH WEST



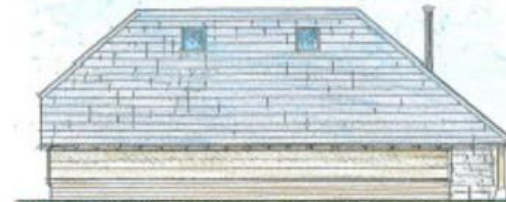
SIDE -
SOUTH EAST



REAR -
NORTH EAST



SIDE -
NORTH WEST

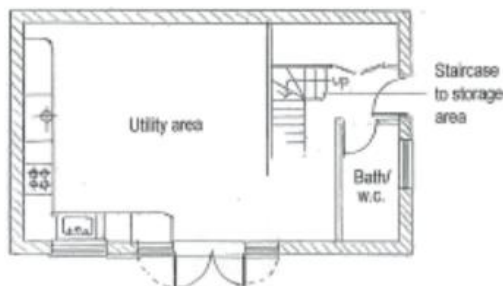


REAR -
NORTH EAST

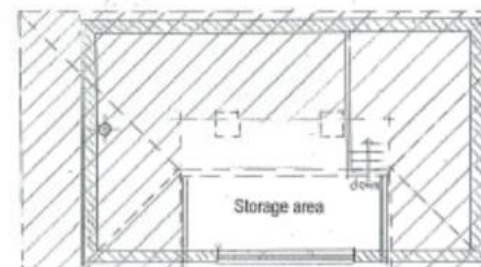


SIDE -
NORTH WEST

Ground



Utility building



First

Scale 1 : 100 @ A3 = 5m

Aerial Plan



Parking and Existing Utility Building – Boundary with Manor Farm Close





Existing Yurt – Boundary with Manor Farm Close (North)



Entrance



View to east



View towards pond (west)



View towards pond (west)



View to south



View to south



Parking area looking south



Manor Farm Access



Existing access to site (Manor Farm Green)



Existing access road to site (Manor Farm Green)



View from footpath to south of site



View from footpath to south of site



View from footpath to south of site



Street view (west)



Street view (west)



View through gap on roadside boundary



WINCHESTER CITY COUNCIL PLANNING COMMITTEE

Case No: SDNP/24/01974/FUL
Proposal Description: (AMENDED DESCRIPTION) (Amended) Construction of building following demolition of four buildings
Address: Land Off Petersfield Road, Bramdean, Hampshire.
Parish: Bramdean and Hinton Ampner Parish Council
Applicants Name: McGregor Polytunnels Pension Scheme
Case Officer: Tania Novachic
Date Valid: 13.05.2024
Recommendation: Application Approved
Pre Application Advice: No

Link to Planning Documents

[SDNP/24/01974/FUL | \(Amended\) Construction of building following demolition of four buildings | Land Off Petersfield Road Bramdean Hampshire](#)



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Reasons for Recommendation

The development is recommended for permission as it is not considered to be significantly harmful to the character and appearance of the South Downs National Park. The proposal is also considered to have an acceptable impact on neighbouring amenity and therefore complies with the policy requirements of SD4, SD5, SD8 and SD35 of the SDNP Local Plan.

General Comments

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**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE**

The application is reported to Committee because of the number of Objections received contrary to the Officer's recommendation.

Amendments to Plans Negotiated

The height of the proposed building has been reduced from 5.525m to 5m from the eaves height and from 8.9m to 6.73m overall and a change in materials has been agreed from steel composite panelling to natural finish timber vertical cladding following onsite discussions with the planning officer.

Site Description

The village of Bramdean is a small settlement of properties of varying styles and proportions with a number of farmsteads in close proximity surrounded by open countryside. Laceys Farm is positioned within a small cluster of properties and farmland to the west of the village within the South Downs National Park (SDNP) with shared access to the north of Petersfield Road (A272) an adopted highway covered by a 40mph speed restriction. The access services McGregor Structures Ltd and George Cann Garden Machinery.

The light industrial units within the site are positioned to the north at a distance of approximately 58m from the highway. The site is not openly visible as the boundaries lining the site are screened by the existing established vegetation and mature trees however the wide entrance track provides some partial views from the highway and the property directly opposite Cobblers. The site is positioned at a distance of approximately 106m from the neighbouring property Turnpike Cottage to the west and open countryside to the north which surrounds the rear boundary. The shared boundary to the east with Kalamuunda Farm is heavily screened by mature trees and hedges however access is provided directly onto the site through a small gate for land management of the neighbouring property. Directly off the highway is a large area of hardstanding providing parking and access for larger vehicles and deliveries.

The character of the properties close to the application site comprise of detached and semi detached brick and render residential dwellings. Public Rights of Way Bramdean and Hinton Ampner. 35 bounds the site to the north.

The site is not Listed or within a conservation area.

Proposal

The proposal is for the construction of single building following the demolition of four smaller buildings currently used by McGregor Structures Ltd.

Relevant Planning History

Case No: SDNP/22/04058/FUL

**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE**

89/01183/OLD - Change of use from agricultural building to light industrial – PER
08.05.1989

87/01104/OLD - Change of use from agriculture to sale and repair of garden machinery¹
– PER 02.01.1987

ConsultationsService Lead – Ecology

Received - 31 Jan 2025

The following documents were submitted with the application in support of matters relating to ecology:

- Preliminary Ecological Appraisal by Southern Planning Practice (April 2024)

Section 7 'Discussion Recommendations' in the Preliminary Ecological Appraisal by Southern Planning Practice (April 2024) details mitigation measures for reptiles including a precautionary method statement, a sensitive lighting strategy for bats and measures to avoid impacts on nesting birds. These measures are considered appropriate and should be conditioned. Whilst some measures are included to protect the watercourse (such as a 2m fenced off buffer from top of riverbank) I consider that further measures are likely to be required. I recommend that a Construction Environment Management Plan is produced to ensure that direct and indirect impacts during construction are adequately avoided. This can be conditioned if you were minded to grant permission. There are also no measures in the report to avoid/mitigate any impacts during the operation of the development such as pollution from run off, contaminate leaching and compaction of riverbank/destruction of riparian vegetation. Measures to address the operational impacts of the development on the watercourse are requested.

The Preliminary Ecological Appraisal by Southern Planning Practice (April 2024) also provides enhancements for the watercourse. It is recommended that details of planting, management and aftercare are provided in a Biodiversity Enhancement Management Plan (BEMP) which can be conditioned if you were minded to grant permission. I would also request that additional wildlife enhancements are included where possible such as the provision of reptile hibernacula, Bird/swift and Bat boxes on the site. These should also be included within the BEMP to show their location and material made from etc.

Received 25.02.2025

Provided the drainage officer has no further concerns, I consider the pre-commencement conditions (CEMP, foul drainage and BMEP) to be sufficient.

Service Lead – Public Protection (Environmental Health)

Received 15 Jul 2024

Case No: SDNP/22/04058/FUL

**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE**

I understand that this application requests a new building following the demolition of 4 buildings at the site. The intention appears to be in order to accommodate a plastics fabrication process (assumed B2 use) at the location. It is not clear whether this is currently in operation.

The application is accompanied by a Noise Impact Assessment carried out by 24 Acoustics Technical report reference R7187-1 Rev 5. This characterizes the area by establishing a background noise level and comparing this with calculated noise levels from the proposed user. I have a number of concerns with the Noise Impact Assessment that need addressing:

The location for background noise monitoring appears to be very close to the road and closer than the existing houses and amenity space associated with them. Bearing in mind the road noise will reduce with distance, I do not believe this is a representative background assessment, with the location representative of the houses and gardens would be lower.

It is not clear whether the plastics fabrication operation currently exists at the location. If it does, we would expect actual data from the existing process to be used rather than calculations based on generic library figures for plant and equipment. Background noise measurements at 1.8m rather than 1.2m-1.5m (as required by BS4142:2014+A1:2019) without explanation. The above matters need addressing in order for this department to be able to take a view on the noise impact of the proposal.

Received – 22 Jan 2025 (amended proposal and site visit)

I have reviewed the amended Noise Impact Assessment carried out by 24 Acoustics reference R7187-1 Rev 7 and dated 17th October 2024, and note this application is for a continuation of the existing B1 use in a newly proposed building. Although I disagree with some of the methodology of the Noise Impact Assessment (as mentioned in my previous comments and has not been addressed), the impact of this proposed development can be controlled by the use of conditions and as a result I recommend that conditions covering the following be applied to any granted planning permission:

A condition restricting the hours of operation (it is noted that the noise impact assessment covers the period 7:30-18:00 Monday to Saturday, and the application form refers to the same hours Monday to Friday) A condition limiting delivery times to acceptable hours
Doors and windows must be kept shut when equipment in conjunction with the process is in use. No use of outside areas for storage of equipment or materials.

Hampshire County Council (Highway Authority)

Received 26.02.2025

Case No: SDNP/22/04058/FUL

WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

I refer to the consultation relating to the above planning application and would make the following comments.

The proposal relates to the demolition of four existing temporary buildings to be replaced by a single permanent building, resulting in a minimal reduction in total floorspace. On that basis it is likely therefore that there would be no significant increase in associated vehicle movements.

There is adequate space on site to enable all vehicles to enter and leave the site in a forward gear.

An initial review of the latest available five years of Personal Injury Collision Data confirms no recorded incidents at or on the approaches to the existing access to Petersfield Road.

The parking provisions should be considered by the Planning Authority as Local Parking Authority.

Having regards to the above comments the Highway Authority would recommend – no objection (no conditions)

Service Lead – Historic Environment

Received 26.02.2025

Consultation response: No Objection

Key issues:

Impact on the significance and settings of the listed buildings; Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990; Section 16 of the NPPF 2024; Strategic Policy SD12 (Historic Environment) and Policy SD13 (Listed Buildings) of the South Downs Local Plan (2014-33); Policies CP19 & CP20 Winchester District Joint Core Strategy.

Comments and advice:

The proposed building (amended version) is approximately 6m high, compared to the four buildings to be demolished, which range between about 3-4m high. Overall proposed footprint of development is similar to existing.

The building would fall within the setting of Little London Cottage and Turnpike Cottage, both Grade II. The current development is low and is mostly screened by trees and hedges in the summer, but is more visible in the winter. The proposed development is about 2m higher, but due to the timber clad walls, is not likely to have much more impact compared to the existing development. Due to relative distance, and screening from existing trees, impact to the setting or significance of the nearby listed buildings is not likely to cause

Case No: SDNP/22/04058/FUL

**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE**

harm, and therefore there is no objection. There would be no objection to the retention of the unauthorised portacabin (building C).

The removal of the unauthorised buildings near the front of the site is welcomed, but it is a shame that all the unauthorised concrete which has been poured over much of the site over a period within the last 10 years and also more recently near the front of the site is proposed to be retained, especially as the concrete is now surrounding semi mature trees, with likely no thought to tree roots and therefore their survival. The screening of trees is important to maintain, because this impacts how this development may impact the setting of the listed buildings. However, despite these concerns, impact of extra concrete where placed does not really affect the setting of the listed buildings.

Hampshire Countryside Services

Received 09.08.2024

Thank you for consulting Hampshire Countryside Service (HCS) as Highways Authority regarding Public Rights of Way (PROW) and Commons Registration Authority. We also manage Country Parks and Countryside Sites throughout Hampshire. Please accept this as our response to the above application, taking into account the material considerations relating to PROW, Commons and impacts to Hampshire County Council (HCC) Country Parks and Countryside Sites.

Consultation response: No objection

Context:

Bramdean and Hinton Ampner Restricted Byway 35 (RB35) runs adjacent to the northeast boundary of the site. The site is not located in a material proximity to any HCC Countryside Site. A copy of the Definitive Map of Rights of Way and Definitive Statement and Countryside Sites can be found at <https://maps.hants.gov.uk/rightsofwaydefinitivemap/> and <https://www.hants.gov.uk/landplanningandenvironment/rightsofway/definitivemap>.

Commentary:

From this desk-based analysis, RB35 appears to be screened by existing vegetation from the site of the proposed demolition and construction works, limiting the visual impact on PROW users. The restricted byway is not proposed to be used for site access. Noise levels may be higher than existing while the proposed works are carried out, however, it is the Service's view that this temporary disturbance to the tranquillity of the restricted byway for its public users is not significant enough to warrant objection to this application. No objection is therefore raised and the below informatives are provided for the planning authority to consider applying to the decision notice, in the event this application is consented.

Informatives:

WINCHESTER CITY COUNCIL
PLANNING COMMITTEE

1. Nothing connected with the development, or its future use, shall have an adverse effect on the Public Right of Way, which must always remain available for safe public use at all times.
2. No vehicles (including builder's and contractor's), machinery, equipment, materials, spoil, scaffolding, or anything else associated with the works, use, or occupation of the development, shall be left on or near to a Public Right of Way as to cause obstruction, hindrance, or a hazard to the legitimate users. The public retain the right to use the PROW at all times.

Service Lead – Drainage

Received - 23 Jan 2025

I am generally satisfied with the FRA (rev G) that Baker and Associates Ltd. prepared in September 2024, thus I have no issues with this development based on flood risks. An existing watercourse has been suggested as a means of disposing of surface water from this development by partially attenuating it in a tank adjacent to the new building. Only buildings A and B have received the attenuation, which takes into account climate change at a rate of 40% rather than the 45% that was needed following the update in May 2022. Building C and the parking area are not included in this. We are concerned about lowering the peak discharge from all sources because the existing watercourse downstream appears to have a limited capacity. Because of this development, the current flood risk elsewhere should, if at all feasible, be reduced rather than increased in and up to 1 in 100-year storm events, with a 45% allowance for climate change and a 10% for urban creep. The only information about foul drainage that the applicant has included in the application is a checkmark for the septic tank as existing. The septic tank's capacity, state, and environmental compliance are unknown to ensure that it will be sufficient for the future use. In light of the government's hierarchy of drainage options, we recommend installing a package treatment plant with a suitable-sized drainage field instead of using the current septic tank.

Consequently, the aforementioned information is necessary for the application to be permitted, or if permission is granted without those, a standard pre-commencement condition for foul and surface water drainage is needed.

Representations:

Bramdean and Hinton Ampner Parish Council

Received - 14 Jun 2024

The Parish Council would like to raise its concerns with regard to the following matters.

- Any works undertaken here must not compromise the watercourse adjacent to the site.

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PLANNING COMMITTEE

- All demolition and clearance must be undertaken in a responsible manner.
- All waste arising from the demolition must be disposed of lawfully.
- The Parish Council wishes to express its frustration and disappointment that the local planning authority appears to have made no attempt at consulting with the neighbouring properties.
- The Parish Council asks that the delegated planning officer pays careful consideration to the proposed increase in height of the new building.
- If permission is granted, the Parish Council is concerned of the potential increase in noise from the site once the new building is complete and in use.

Received – 06 Feb 2025 (amended proposal)

The Parish Council would like to raise its concerns with regard to the following matters with regard to this amended application.

- We support the comments made by the WCC Drainage Engineer regarding the recommended installation of a package treatment plant.
- We support the comments made by the WCC Environmental Health team with regard to the noise impact assessment and their recommendations.
- We support the response of the HCC Countryside Planning team.
- Any works undertaken here must not compromise the watercourse adjacent to the site.
- All demolition and clearance must be undertaken in a responsible manner.
- All waste arising from the demolition must be disposed of lawfully.
- The Parish Council asks that the delegated planning officer pays careful attention to the proposed increase in height of the new building.
- If permission is granted, the Parish Council is concerned of the potential increase in noise from the site once the new building is complete and in use.

6 Objecting Representations citing the following material planning reasons:

- Noise impact
- PRow and traffic
- Water and drainage
- Impact on the watercourse
- Height/Scale

1 letter of support has been received

Support the reuse and tidying up of an existing brown field site for light rural industry. However, there are significant issues that must be addressed as a result of the planning application SDNP/24/09174/FUL which have been listed in the objections raised.

Relevant Government Planning Policy and Guidance
Case No: SDNP/22/04058/FUL

**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE**Relevant Government Planning Policy and Guidance

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF), updated December 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 189 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

The development plan policies listed below have been assessed for their compliance with the NPPF and are considered to be compliant with the NPPF.

- NPPF11 - Making effective use of land
- NPPF12 - Achieving well-designed and beautiful places
- NPPF15 - Conserving and enhancing the natural environment

The following policies of the **South Downs Local Plan** are relevant to this application:

- Core Policy SD1 - Sustainable Development
- Core Policy SD2 - Ecosystems Services
- Strategic Policy SD4 - Landscape Character
- Strategic Policy SD5 – Design
- Strategic Policy SD6: Safeguarding Views
- Strategic Policy SD7: Relative Tranquillity
- Strategic Policy SD8 - Dark Night Skies
- Strategic Policy SD9: Biodiversity and Geodiversity
- Development Management Policy SD11: Trees, Woodland and Hedgerows
- Strategic Policy SD17: Protection of the Water Environment
- Development Management Policy SD22: Parking Provision
- Strategic Policy SD25: Development Strategy

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- Strategic Policy SD34: Sustaining the Local Economy
- Strategic Policy SD35: Employment Land

Partnership Management Plan

The Environment Act 1995 requires National Parks to produce a Management Plan setting out strategic management objectives to deliver the National Park Purposes and Duty. National Planning Policy Guidance (NPPG) states that Management Plans "contribute to setting the strategic context for development" and "are material considerations in making decisions on individual planning applications." The South Downs Partnership Management Plan as amended for 2020-2025 on 19 December 2019, sets out a Vision, Outcomes, Policies and a Delivery Framework for the National Park over the next five years. The relevant policies include:

- Partnership Management Plan Policy 1
- Partnership Management Plan Policy 3

Bramdean and Hinton Ampner village design statement (VDS)

Supplementary Planning Document

Ecosystems Services TAN
Dark Skies TAN May 2021
Design Guide SPD August 2022

Planning Considerations**Principle of development**

Strategic Policy SD34: Sustaining the Local Economy outlines that development proposals that foster the economic and social well-being of local communities within the National Park will be permitted provided that they meet one or more of the following:

- e) Provide flexibility for established businesses to secure future resilience and protect local jobs;
- f) Intensify the commercial use of an employment site and make a more efficient use of brownfield land;

The purpose of this policy is to promote and protect local businesses without compromising the purposes of the National Park. The policy is consistent with the spatial strategy of a medium level of development dispersed across the National Park. It should be read in conjunction with the development strategy set out in Policy SD25, which identifies settlements where the principle of development is accepted.

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The development strategy set out in Policy SD25 prioritises the development of previously developed land. Commercial development on existing employment sites should make an efficient use of existing buildings and previously developed land through intensifying uses, provided that this does not compromise the special qualities of the National Park.

Policy SD4 of the SDLP states that development proposals will only be permitted where they conserve and enhance landscape character. Policy SD5 of the SDLP seeks to ensure that development makes a positive contribution to the overall character and appearance of the area. Proposals should integrate with the landscape and should be sympathetic to the setting in terms of height, massing, roof form and materials.

The application proposes to rationalise the existing light industrial units comprising of 4 buildings into a single unit. The building consists of a main production area with offices storage and services at the rear. The building is single storey with large roller shutter openings along the southern elevation servicing the production area. It will have low level windows along the east in addition to windows and two doors which will service the offices, storage and services along the northern elevation at the rear.

The proposed unit will retain a light industrial outlook in terms of proportions. The amendments received have reduced the overall height by 2.17m and a further 0.525m from the eaves. The overall footprint of the proposed unit would measure approximately 662.1sqm following the demolition of the 4 existing units currently occupying an area of approximately 650.35sqm and the proposed natural finish timber vertical cladding would make a positive contribution to the overall character and appearance of the area.

No changes are proposed to the positioning within the site. As such the proposal is considered acceptable in principle, subject to accordance with relevant development plan policies.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

Impact on character and appearance of area

The application proposes to rationalise the existing light industrial units comprising of 5 buildings titled A, B, C, D & E into a single unit. The existing units vary in scale, with the tallest units A & C measuring approximately 4.2m in height and approximately 30m in length.

Distance from the boundary along PRoW 35 along the North boundary (rear):

- 5.5m (at the closest point)
- 13m (at the furthest point)

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Distance from the property along the shared boundary with Kalamuunda (E):

- 90m from the boundary line

Distance from neighbouring property Turnpike Cottage (W):

- 130m from the boundary line

The light industrial unit is positioned along the northeast boundary that forms a public right of way (PRoW) Bramdean and Hinton Ampner 35. The changes will not be openly visible due to the existing vegetation and distance from the boundary line of approximately 7m. Glimpsed views from the PRoW Bramdean and Hinton Ampner 35 to the south are possible, but it is not considered that the views of the altered building will be any more visually prominent than existing as it retains a single storey outlook with only partial views above eye level due to the raised eaves and roof height.

The proposed light industrial unit will replace 4 smaller units of varying footprints and heights with the tallest currently measuring approximately 4.2m, a single unit has been proposed to provide a single production area with offices to manage the business needs whilst retaining a similar footprint however the roof height proposed would measure approximately 6.8m. It is not considered that the increase in roof height by approximately 2.5m would be openly visible to the orientation within the site and the existing boundary treatment with views from further afield screened by trees and hedgerows with a distance of approximately 50m from the access road Petersfield Road.

The proposed natural finish timber vertical cladding and box profile metal sheet roof will maintain an light industrial appearance while the proposed openings along the east elevation will not be openly visible due to their low level and proximity of the established vegetation. The alterations to the building are therefore considered to be acceptable and will mitigate the resultant view of the building in any longer distance views.

Therefore, there is no objection to the proposal in terms of design and appearance. The use of natural materials where possible is considered appropriate for its setting and the existing positioning within the site provides a natural screening from the access along Petersfield Road to the south and the PRoW 35 lining the northern boundary.

Overall, the design and visual impact of the proposed development is considered to accord with the aims of SDLP policies SD4 and SD5 and would have no adverse impact on the character of the area.

Development affecting the South Downs National Park

The application site is located within the South Downs National Park.

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have

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the highest status of protection, and the NPPF states at paragraph 189 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Taking account of the Park's purpose to conserve and enhance the natural beauty, wildlife and cultural heritage of the area and promote understanding of its special qualities, and given the assessment above, the development has a neutral impact and does not therefore adversely conflict with the statutory purposes of the SDNP designation.

Historic Environment

The light industrial units are not listed or set within a Conservation Area however the building would fall within the setting of Little London Cottage and Turnpike Cottage, both Grade II. Turnpike cottage is a grade II listed property positioned to the West of the site at a distance of approximately 130m and Little London Cottage is positioned to the South West at a distance of approximately 90m separated by Petersfield Road.

As the development is within the setting of a Grade II listed building the following legislation and policies are taken into account in the assessment and determination of this planning and listed building application:

Relevant Legislation

The preservation of the special architectural/historic interest of the listed building and its setting (S.66 P(LBCA) Act 1990; Policy SD12 and SD13 of the SDLP (2014-2033) and the NPPF (2024) Section 16.

Guidance

Where dealing with listed buildings, decision makers are required to have due regard to the "desirability of preserving the [Listed] building or its setting or any features of special architectural or historic interest which it possesses." under Section 16/66 of the Planning (Listed Buildings and Conservation Areas Act 1990). Case law has established that where an authority finds that a development proposal would harm the setting of a listed building, it must give that harm "considerable importance and weight".

Due regard has been given to these requirements, as set out in the assessment within this report.

The historic environment section of the Planning Practice Guidance further outlines the role of the Local Planning Authority in considering the effects of new development that are in the vicinity of or affect the setting of listing buildings and heritage assets. Paragraph 212 of the NPPF advises that great weight should be given to the conservation of a heritage asset in considering the impact of a proposal on its significance (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its

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significance. Paragraph 213 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Policy SD12 and SD13 ensure that development preserves and enhances heritage assets and their settings.

Given the distance of the listed buildings from the site and the general screening of the proposed building and there are no changes proposed with regards to the proximity, it is considered that the impact to the setting of the listed building will be neutral.

The proposals would accord with the requirements of Section 16 para 212 of the NPPF (2024), Policy SD12 and SD13 of the SDLP and the historic environment section of the Planning Practice Guidance.

Neighbouring amenity

SDLP policies SD5 require proposals to have regard for the amenity of neighbouring properties. The light industrial unit is positioned to the rear of the site with a single shared access directly off Petersfield Road and screened by established hedging and vegetation. The proposed light industrial unit proposes no changes in terms of positioning and retains a similar footprint with an increase of approximately 2.5m in ridge height however due to the positioning within the site and the existing neighbouring light industrial units providing additional screening along the north west and westerly boundaries it is not considered the addition will be openly visible.

The site is surrounded by open fields to the rear with the nearest adjoining neighbouring property Kalamunnda Farm positioned to the south east at a distance of approximately 90m. To the Southwest Turnpike Cottage is at a distance of approximately 100m. It is therefore unlikely to result in any adverse impact on residential amenity either by overlooking, loss of light or through the creation of an overbearing structure due to its scale and design.

With regards to the properties to the South separated by Petersfield Road, Cobblers, Hazelglen and Little London the separation distance of approximately 80m will ensure that any overlooking is oblique as the existing boundary treatments will ensure screening is retained.

Concerns have been raised with regards to an increase in noise nuisance, additional traffic and visual impact however following additional consultation and site visits with the Environmental Health Officer amendments to the proposed single light industrial unit have been submitted. The reduction in overall height by 2.17m will not look dissimilar to the existing unit to the rear and the smaller unit directly adjoining to the west (outside of the applicants ownership) no changes are proposed in terms of activity and the use of natural materials will further reduce the overall visual impact on the site.

In regard to increase in noise nuisance and activity within the proposed light industrial unit the Environmental Health Officer is satisfied that the activity within the site will remain as existing however to secure this measures have been placed within conditions 9-12 in order to protect the amenities of the occupiers of the nearby properties.

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The site is positioned in close proximity to the PRoW 35 Hampshire Countryside Services have supported the officers findings that the site is well screened along the rear boundary and any increase in noise will be temporary therefore no objection is raised.

For the reasons outlined above the proposal is considered to accord with Policy SD4, SD5 & SD8 of the South Downs Local Plan.

Sustainable Transport

The proposal will have no impact on highway safety/amenity/traffic generation/air quality/sustainable travel/parking ratio/standards as no changes are proposed in terms of increased activity or parking provisions within the site.

Therefore the proposal complies with policies SD19 and SD22 of the South Downs Local Plan and the degree of harm and general impact on highway safety, accessibility and parking is in line with Local Plan Policies.

Ecology and Biodiversity

Policy SD2 requires all development to have a positive impact on the environment and to include enhancements as part of the proposal, where applicable. Policy SD9 states that Development proposals will be permitted where they conserve and enhance biodiversity and geodiversity. The applicant has proposed the following actions:

- Potential to introduce bat and bird boxes
- Water butts
- Rural economy
- 2m buffer at the top of the bank
- The buffer to be fenced with open fencing to prevent human activities and parking, but allowing for the movement of wildlife
- Log piles/ insect houses
- Tussocky grasses on the bank slope to reduce the risk of soil erosion, with additional riparian species
- Processes for the planting of species and short- and long-term management

The proposal will have no impact as it is not Development within, bordering or in close proximity to a European Protected Site (I.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites).

The use of overnight accommodation is not being considered within this application.

Due to the nature of the development and the distance between the application site and the European Protected Site of the Solent SAC and SPA and the River Itchen SAC, an Appropriate Assessment under the Conservation of Habitats & Species (Amendment) Regulations 2011 is not required.

These actions are considered to be acceptable and comply with policy SD2 & SD9.

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**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE****Biodiversity Net Gain**

BNG Technical advice Note TAN (SDNPA)

1.12 The following types of development are exempt from mandatory BNG requirements:

Developments below the threshold – development that does not impact a priority habitat and impacts less than 25 square metres (5m x 5m) of habitat or 5 metres of linear habitat. Existing sealed surfaces such as tarmac or buildings are assigned a zero score in the statutory biodiversity metric, meaning that these surfaces are effectively exempted from the 10% net gain requirement.

The site is covered by large areas of hardstanding that will be retained. No changes are proposed to the existing vegetation surrounding the site therefore BNG is not required.

Nutrients

The proposal does not include the addition of overnight accommodation therefore nutrient mitigation is not required.

Dark Night Skies

The South Downs National Park has been designated an International Dark Skies reserve. As such, it is sought to reduce any light pollution associated with new development. Particular care will be taken where sites are within sensitive areas, for example where located in one of the three core zones of the Dark Night Skies Reserve.

The application site is located within Dark Night Sky Zone E1a - Intrinsic Rural Darkness

The purpose of Policy SD8 is to ensure that development does not harm the quality of dark night skies. It also encourages enhancement of the dark night skies of the National Park, for the benefit of people and wildlife. The policy seeks to do this by ensuring that proposed lighting is necessary, and by reducing the unnecessary light spill that is often a result of poor design, in order to minimise the overall impact of light.

The building proposes a number of low level openings measuring approximately 1m high and 1.2m across along the east and north elevation servicing the offices and production area which would result in some light spill however as outlined within paragraph 2 of Policy SD8 of the SDNP Local Plan, developments will be permitted if it is demonstrated to be appropriate and any adverse impacts are mitigated to the greatest reasonable extent.

In this case measures are set out in condition 13 to reduce and mitigate light spillage and these are considered to be acceptable. The proposal is therefore considered to be in accordance with policy SD8 of the South Downs Local Plan.

Whilst no external lighting is proposed as part of the application it is recommended that a condition be attached (condition 14) to ensure that consent is sought for any future external lighting proposals in order to maintain the quality of the dark sky reserve.

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**WINCHESTER CITY COUNCIL
PLANNING COMMITTEE****Sustainable Drainage**

A flood risk assessment report has been provided (rev G) by Baker and Associates Ltd. The Drainage Officer has raised no objection to the details outlined within the report.

However the Drainage Officer has outlined that the only information about foul drainage that the applicant has included in the application is a checkmark for the septic tank as existing. The septic tank's capacity, state, and environmental compliance are unknown to ensure that it will be sufficient for the future use. In light of the government's hierarchy of drainage options, we recommend installing a package treatment plant with a suitable-sized drainage field instead of using the current septic tank therefore it is recommended that conditions be attached (condition 4&5) to ensure no occupation of any of the development shall take place until the approved works for surface and foul water drainage have been satisfied.

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The principle of the construction of a single light industrial unit following the demolition of four smaller units currently used by McGregor Structures Ltd is not considered to be significantly harmful to the character and appearance of the local area, no changes are proposed to the established use as light industrial and no changes are proposed with regards to the positioning within the site.

The existing boundary treatment will be retained along with the large area of parking provision directly to the front. The increase in height will make the unit more visible above eye level however the unit is single storey, in natural materials and no rooflights have been proposed within the established site. The unit will retain the existing distance from the neighbouring properties with only provide partial views.

In addition, the conditions outlined will further secure hrs of operation, delivery timeframes and machinery operating times and the setting of the nearby listed buildings or the South Downs National Park and therefore complies with the policy requirements of SD4, SD5, SD8 and SD35 of the SDNP Local Plan.

The development would not result in a detrimental impact on the amenities of neighbouring properties in terms of noise disturbance, loss of privacy, light or overbearing impacts above those expected within an established light industrial setting. The development is not considered to result in an unacceptable impact on the dark night skies of the South Downs

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National Park. For the reasons outlined above, the application is therefore recommended for approval.

Recommendation

Application Permitted subject to the following conditions:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the plans listed below under the heading "Plans Referred to in Consideration of this Application".

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The materials used in the construction of the development hereby approved shall be as detailed within the permitted application particulars and shall be retained permanently as such, unless prior written consent is obtained from the Local Planning Authority to any variation.

Reason: To safeguard the appearance of the building and the character of the area.

4. No development approved by this permission shall be commenced until details of surface water drainage, which shall follow the principles of sustainable drainage as far as practicable, have been submitted to and approved by the Local Planning Authority. Thereafter all development shall be undertaken in accordance with the approved details and no occupation of any of the development shall be take place until the approved works have been completed. The surface water drainage system shall be retained as approved thereafter.

Reason: To ensure satisfactory surface water drainage.

5. No development approved by this permission shall be commenced until full details of the proposed means of foul drainage disposal have been submitted to and approved in writing by the Local Planning Authority. Thereafter all development shall be undertaken in accordance with the approved details and no occupation of any of the development shall be take place until the approved works have been completed. The foul drainage system shall be retained as approved thereafter.

Reason: In order to secure a satisfactory standard of development.

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6. The recommendations within section 7 of the Preliminary Ecological Appraisal by Southern Planning Practice (April 2024), shall be adhered to throughout all phases of the development. The mitigation and enhancement features shall be provided prior to the development coming into its intended use and retained thereafter.

Reason: To safeguard protected species and maintain biodiversity in accordance with the NPPF and Strategic Policy SD9.

7. A Construction Method Statement (CMS) shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. This should outline how construction will avoid, minimise or mitigate effects on the river. It should include physical barriers to ensure no debris enters the water, normal working hours only (to minimise noise and lighting disturbance), storage of any chemicals/oil away from where spills could enter the water course, and provision of spill kits for any such chemicals.

Reason: To ensure the integrity of the watercourse is maintained in accordance with the NPPF and Strategic Policy SD9.

8. A Biodiversity Enhancement Management Plan (BEMP) shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development. This shall include details of planting, management and aftercare of the river enhancements as well as details of the reptile hibernacula, bat boxes and bird boxes. These biodiversity enhancements shall be sited prior to the development coming into its intended use and retained thereafter.

Reason: To ensure an enhancement to biodiversity in accordance with the NPPF and Strategic Policy SD9.

9. The use hereby permitted shall only operate within the following times 07.30 - 18.00 Monday to Friday and 09.00 - 13.00 Saturdays and at no time on Sundays or recognised public holidays.

Reason: To protect the amenities of the occupiers of nearby properties.

10. No machinery shall be operated, no process shall be carried out and no deliveries taken at or dispatched from the site except between the hours of 0800 and 1800 Monday to Friday and 0800 and 1300 on Saturdays and at no time on Sundays and recognised public holidays, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of the occupiers of nearby properties.

11. Doors and windows must be kept closed when power tools and similar equipment is used in conjunction with the approved use, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of the occupiers of nearby properties.

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12. No works or storage shall take place outside the building, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To safeguard the appearance of the building and the character of the area.

13. The development hereby permitted shall not be occupied until details of measures to reduce light spillage from the proposed openings along the east and north elevations (such as low transmittance glass) have been submitted to and approved in writing by the Local Planning Authority. The measures shall be installed and operated in accordance with the approved details and retained thereafter at all times.

Reason: To minimise light intrusion in the South Downs National Park which is a designated International Dark Sky Reserve.

14. No external lighting shall be installed on the building or within the site unless otherwise agreed in writing by the Local Planning Authority.

Reason: To enable the Local Planning Authority to control the development in detail in the interests of night time amenity, tranquillity and protect and conserve the International Dark night Skies.

Informatives:**1. Crime and Disorder Implications**

It is considered that the proposal does not raise any crime and disorder implications.

2. Human Rights Implications

This planning application has been considered in light of statute and case law and any interference with an individual's human rights is considered to be proportionate to the aims sought to be realised.

3. Equality Act 2010

Due regard has been taken of the South Downs National Park Authority's equality duty as contained within the Equality Act 2010.

4. Bat Protection

Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017 (as amended). All work must stop immediately if bats, or evidence of bat presence (e.g., droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.

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5. Proactive Working

In reaching this decision the Local Planning Authority has worked with the applicant in a positive and proactive way, in line with the NPPF. This has included the provision of an onsite meeting to add additional value as identified by SDNPA Officers and consultees.

6. Nothing connected with the development, or its future use, shall have an adverse effect on the Public Right of Way, which must always remain available for safe public use at all times.
7. No vehicles (including builder's and contractor's), machinery, equipment, materials, spoil, scaffolding, or anything else associated with the works, use, or occupation of the development, shall be left on or near to a Public Right of Way as to cause obstruction, hindrance, or a hazard to the legitimate users. The public retain the right to use the PROW at all times.

Plans Referred to in Consideration of this Application

The application has been assessed and recommendation is made on the basis of the following plans and documents submitted:

Plan Type	Reference	Version	Date Received	Status
Plans - PROPOSED PLANS & ELEVATIONS	010	P1	08.01.2025	Approved
Plans - PROPOSED SITE PLAN	005	P1	08.01.2025	Approved
Plans - SITE PLAN AS EXISTING	SDNP-WIN-AP-245.06	REV C	10.05.2024	Approved
Plans - BUILDINGS A & B AS EXISTING. PLANS AND ELEVATIONS	SDNP-WIN-AP-245.07	REV A	10.05.2024	Approved
Plans - BUILDINGS C, D AND E AS EXISTING. PLANS AND ELEVATIONS	SDNP-WIN-AP-245.08	REV A	10.05.2024	Approved
Plans - BLOCK PLAN AS EXISTING	SDNP-WIN-AP-245.09		10.05.2024	Approved

Reasons: For the avoidance of doubt and in the interests of proper planning.

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SDNP/24/01974/FUL Land off Petersfield Road, Bramdean



Aerial View of Site



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Application Site

Location Plan



Image of the existing industrial units



Image of the existing industrial units



Image of the existing industrial units



Image of the existing industrial units



Image of the existing boundary to the east (Kalamunnda Farm)



Image of the existing parking area



Image of the shared access looking toward Petersfield Rod



View along the west boundary



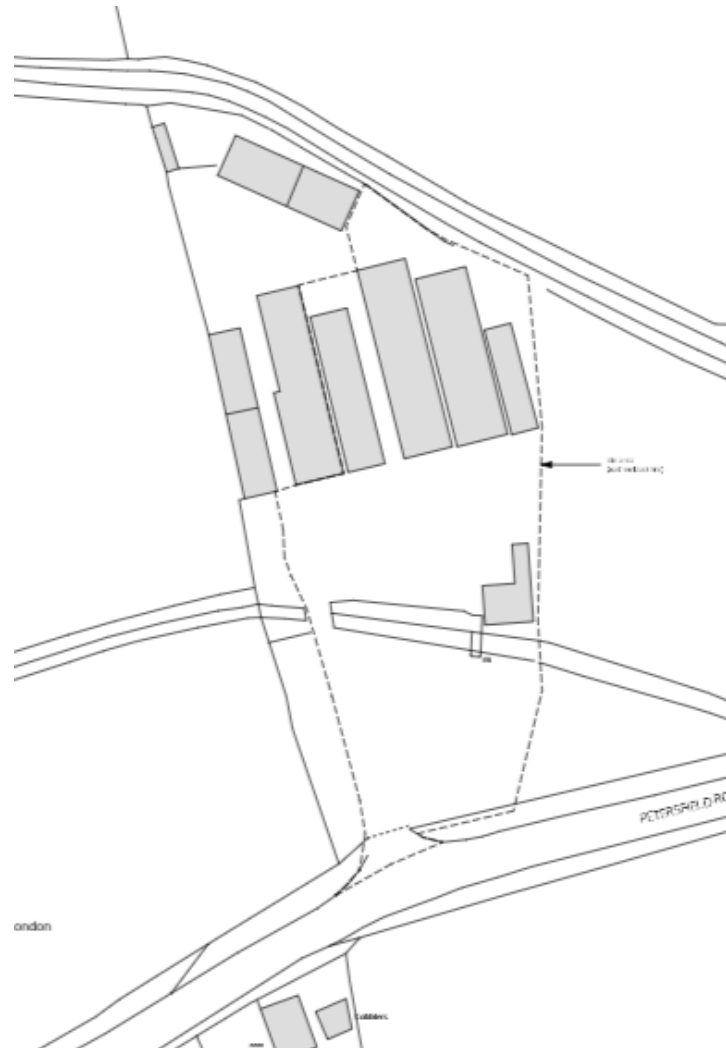
View along Petersfield Road heading east (Site entrance)



View along Petersfield Road heading west (Site entrance)



Existing Site Plan



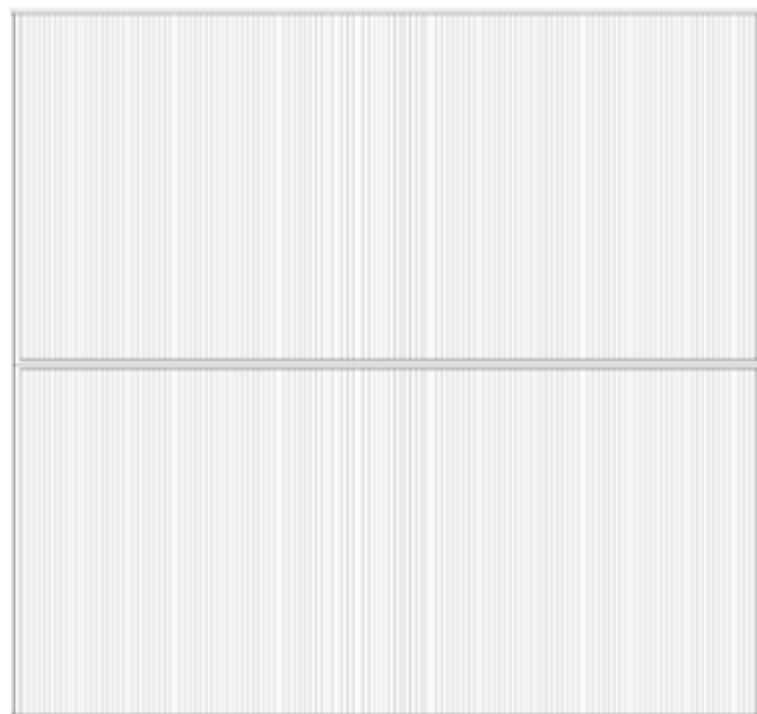
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Proposed Floor Plan & Roof Plan



Floor Plan



Roof Plan

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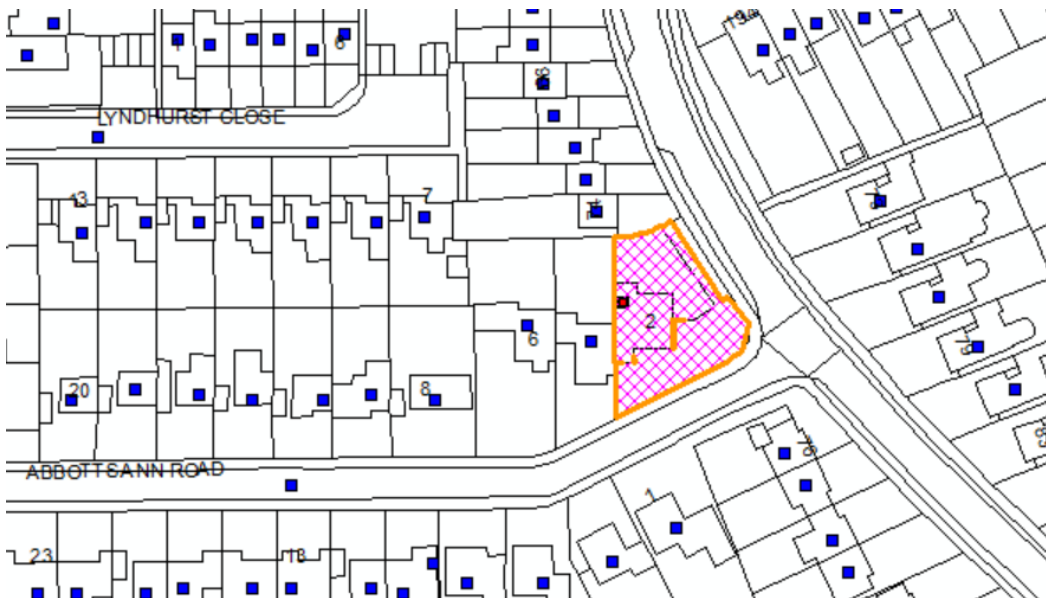
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WINCHESTER CITY COUNCIL PLANNING COMMITTEE

Case No: 25/00332/HOU
Proposal Description: Garage conversion with new replacement roof and single storey extension. Replacement windows. Erection of canopy to side of dwelling.
Address: 2 Abbots Ann Road Winchester Hampshire SO22 6ND
Parish, or Ward if within Winchester City: Littleton And Harestock
Applicants Name: Mr Yatin Patel
Case Officer: Charlotte Smith
Date Valid: 17 February 2025
Recommendation: Permit
Pre Application Advice No

Link to Planning Documents

[Link to page – enter in reference number 25/00332/HOU](https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple)
<https://planningapps.winchester.gov.uk/online-applications/search.do?action=simple>



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Reasons for Recommendation

The development is recommended for permission as it is considered that it will not harm the character of the area in accordance with Policies DM15 and DM16 of the LPP2 and would not have a detrimental effect on residential amenity in accordance with Policy DM17 of the LPP2.

General Comments

The application is reported to Committee due to a Councillor owning the property next door (No. 4 Abbotts Ann Road). The proposal directly affects their property as it involves work to the side wall of 4 Abbotts Ann Road.

The application 24/01568/HOU was permitted at Planning Committee on the 25th September 2024 at the same site. The proposed changes were considered too significant to be considered under a non-material minor amendment and so a full application was required.

Amendments to Plans Negotiated

None

Site Description

The proposal site is a corner plot link-detached residential dwelling in Harestock. There are unobstructed views from the public realm of Abbotts Ann Road and Priors Dean Road.

There is conformity between the proposal site and the surrounding dwellings on Abbotts Ann Road in the form of pitched roofs, with a single storey flat roof garage attached on the western side of the properties. The garages to the side of the properties create a visual gap between them at first floor level. This conformity does not extend to Priors Dean Road which are primarily bungalows, or beyond 8 and 9 Abbotts Ann Road, which are a mix of semi-detached and terraced properties. There is a minimal porch fronting the application property with white posts to the ground and a felt roof.

There is a dropped kerb fronting the property to allow access for the tarmac parking area at the front of the property.

Due to the orientation of the site, there is garden space to the south, east and north of the property. The site is on a slope, with the highest end being towards 20 Abbotts Ann Road and the lowest at the proposal site. The topography continues to slope downwards from Priors Dean Road towards the properties to the east of the site. The proposal site currently has an approximately 6ft high closeboard fence along the western boundary. There is also evidence of a brick wall underneath to build up the slope and retain the height of the fence surrounding the boundary. The back garden currently has a small shed and several decorative trees. There is a footpath along the western boundary of the property serving Priors Dean Road.

Proposal

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The proposal is for a garage conversion and single storey porch extension. The ground floor on the front elevation will have a window in place of the garage door, and a larger window to serve the hallway. The dwelling will have replacement windows and a canopy on the eastern elevation of the dwelling. A flat rooflight is also proposed for the kitchen ceiling.

The proposed materials are grey/green zinc cladding on the garage conversion and porch extension, with single ply membrane (EPDM) on the roof.

Relevant Planning History

24/01568/HOU

Garage conversion with new replacement roof and single storey front porch extension to incorporate photovoltaic panels in roof slope. Replacement windows. Erection of canopy to side of dwelling.

Permit – Committee Decision – 25/09/2024

Consultations

None

Representations:

Littleton and Harestock Parish Council

While the proposals are sufficiently modest regarding their footprint, the overall impact of this new application appears to be a retrograde step compared to the previous application that received approval.

The adverse impact on the street scene leads to the conclusion that this application should be refused, and the applicants should be encouraged to present a design that aligns better with the style of neighbouring housing.

Therefore, the Parish Council objects to the application.

Relevant Government Planning Policy and Guidance

National Planning Policy Framework (December 2023)

2. Achieving sustainable development

4. Decision-making

8. Promoting healthy and safe communities

12. Achieving well-designed places

14. Meeting the challenge of climate change, flooding and coastal change

National Planning Practice Guidance

- Climate change
- Consultation and pre-decision matters
- Design: process and tools
- Flood risk and coastal change
- Planning obligations
- Use of planning conditions

Winchester Local Plan Part 1 – Joint Core Strategy (LPP1)

Case No: 25/00332/HOU

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- CP11 – Sustainable Low and Zero Carbon Built Development
- CP13 – High Quality Design

Winchester District Local Plan Part 2 – Development Management and Site Allocations

- DM15 – Local Distinctiveness
- DM16 – Site Design Criteria
- DM17 – Site Development Principles
- DM18 – Access and Parking

Supplementary Planning Document

National Design Guide 2019

High Quality Places 2015

Air Quality Supplementary Planning Document 2021

Other relevant documents

Climate Emergency Declaration, Carbon Neutrality Action Plan 2020-2023.

Nature Emergency Declaration.

Statement of Community Involvement 2018 and 2020

Planning Considerations

Principle of development

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 and paragraph 48 of the National Planning Policy Framework (NPPF, 2024) require that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

The proposal site is within the settlement boundary of Winchester where the principle of development is acceptable subject to compliance with the Development Plan and material planning considerations.

The principle of development is therefore acceptable.

The Emerging Local Plan, as now agreed by Full Council, has been submitted to the Secretary of State for examination and can be given appropriate and increasing weight in the assessment of development proposals in advance of examination and adoption.

Assessment under 2017 EIA Regulations.

The development does not fall under Schedule I or Schedule II of the 2017 Environmental Impact Assessment Regulations, therefore an Environmental Impact Assessment is not required.

Impact on character and appearance of area

The property is one end of a group of three properties. There is a matching group of four on the opposite site of Abbotts Ann Road. Each house has yellow facing brick, with a pitched roof and single garage. Additionally, there is always a tarmac driveway leading to the property. There are unobstructed views of the property from the public realm of Abbotts Ann Road and Priors Dean Road. There is also a public footpath running alongside the property.

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There is evidence of variety in the built environment the immediate context, with no. 6 Abbotts Ann Road having added a pitched roof to the garage in 2001 and the group of four opposite being two detached dwellings and a set of semi-detached. There is variety in the porches that front the properties; No. 4 adopts a timber frame, No. 6 has a full porch extension (permitted in 2001), and simply designed felt roof porches are on Nos. 3, 5 and 7.

Further west of the development site, the style of development changes, with the only similarities being the pitched roof, two storey size and single attached side garage. On the opposite side of Abbotts Ann Road, the style adopts a 70s style with evenly spaces semi-detached blocks. This then reverts to the proposal application site design opposite Woodgreen Road.

To the east of the property are bungalows. These sit lower in the landscape and are again evenly spaced.

The design of the proposal is unusual in the local context; however, this does not mean it is harmful. The existing property is unusual itself in that the garage protrudes forward of the front elevation, rather than sitting behind it to give the illusion of a gap between properties. However, because the neighbouring property to the west No. 4, is set forward of No 2, the existing garage is not visually intrusive and the gap between properties is perceived to be retained.

The proposed materials are zinc cladding with aluminium windows. There is variety in the wider local context – with red brick facades being prevalent from Nos. 8 and 9 Abbotts Ann Road. Red timber cladding is also evident on Nos. 9 and 11 Abbotts Ann Road. Brown timber cladding is evident on Nos. 13 and 15 Abbotts Ann Road. Then Priors Dean Road has a mixture of cladding and green hanging tiles at first floor level almost entirely. It is therefore considered that whilst zinc cladding is unusual in the area, the local context offers an array of design detailing and materials and so would not be sufficient to warrant refusal.

Therefore, due to the siting, size and design of the proposal it will not have a harmful impact on the wider context of the area to the detriment of its character.

The proposal therefore complies with policies CP13 of the LPP1, DM15 and DM16 of the LPP2.

Development affecting the South Downs National Park

The application site is located 2.17km from the South Downs National Park

Government policy relating to National Parks is set out in English National Parks and the Broads: UK Government Vision and Circular 2010 and The National Planning Policy Framework (NPPF) updated 2024. The Circular and NPPF confirm that National Parks have the highest status of protection, and the NPPF states at paragraph 182 that great weight should be given to conserving and enhancing landscape and scenic beauty in national parks and that the conservation and enhancement of wildlife and cultural heritage are also important considerations and should be given great weight in National Parks.

Due to the distance and intervening features, an adverse impact on the National Park and its statutory purposes is not identified.

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In conclusion therefore the development will not affect any land within the National Park and is in accordance with Section 11a of the National Parks and Access to the Countryside Act 1949.

Historic Environment

No Impact, the works do not affect a statutory Listed building or structure including setting; Conservation Areas, Archaeology or Non-designated Heritage Assets including setting.

Neighbouring amenity

The nearest neighbouring property is no. 4 Abbotts Ann Road, which is attached to the proposal site on the western boundary. There is also 74 Priors Dean Road immediately to the rear of the property on the northern boundary. Additionally, there are several bungalows (Nos. 73, 75, and 77 Priors Dean Road) on the opposite site of Priors Dean Road.

Due to the topography of the local area, the proposal site sits lower in the landscape than no. 4 Abbotts Ann Road. It is also set back from the road and the frontage of No. 4. This is not proposed to change.

The front extension itself projects 2.1m from the existing frontage, however, does not extend beyond the current garage which protrudes approximately 3.1m from the main front elevation of the property. This is therefore not considered to impact the residential amenity of no. 4 Abbotts Ann Road and the distance is too significant from the surrounding neighbours to have a noticeable effect.

The addition of the canopy on the eastern side is considered to have little to no impact on the neighbours. It is largely shielded by a 6ft fence and only the flat roof will be visible from the public realm. The canopy will extend from the property out to the western boundary – however, it is completely shielded by the western elevation of the property so does not affect the property on the east. Furthermore, the distance between the proposal site and the neighbours to the west is significant and therefore this aspect of the proposal is not impactful. The most likely neighbour to be affected would be no. 74 Priors Dean Road. However, there is an existing canopy on the rear elevation and no concerns have been raised regarding this.

The new windows and rooflight on the kitchen are not impactful to the neighbours. The new windows are only replacements and would be permitted development. The rooflight on the kitchen ceiling does not increase overlooking and so is acceptable in planning terms.

The addition of the window on the east elevation on the ground floor is to allow light into the w.c. This is a minor change and due to the distance from the nearest directional neighbour (circa 39m) is not considered to result in any overlooking.

Therefore, the proposal complies with policy DM17 of the LPP2 as the development does not have a significant impact on the residential amenity of neighbouring properties.

Sustainable Transport

The proposal has existing off-road parking for up to three vehicles. There is no new or altered access being proposed onto Abbotts Ann Road to consider within this application.

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The parking provision will also be lessened by the conversion of the garage; there remains sufficient parking for 3 cars fronting the property.

The means of access remains the same – a dropped kerb at the boundary to the south of the site.

There are therefore no highway implications arising from this application and the proposal complies with policy DM18 of LPP2.

Ecology and Biodiversity

The proposal will have no impact on ecology as it is not development within, bordering or in close proximity to a Nationally Protected Site (i.e. River Itchen SAC, The Solent SAC, SPAs, Ramsar Sites) or is not overnight accommodation affecting Nitrates. Due to the minor nature of the proposed works it will have no impact on biodiversity within the vicinity of the site.

Sustainability

Developments should achieve the lowest level of carbon emissions and water consumption which is practical and viable. Policy CP11 expects new residential developments to achieve Level 5 for the Energy aspect of the Code for Sustainable Homes and Level 4 for the water aspect. Condition X secures the submission of design-stage data prior to the commencement of development to ensure this is complied with.

The site is not a new residential development and so does not have to achieve Level 5.

Whilst the proposal is not required to achieve Level 5, it should be noted that the application uses zinc cladding. This material is fully recyclable and requires less energy to produce – therefore making it a sustainable and environmentally conscious choice.

Sustainable Drainage

The site is within Flood Zone 1 and has a low probability of flooding from rivers and the sea. There is a low risk of surface water flooding (between 0.1% and 1% chance each year), so there was no requirement to obtain a flood risk assessment. The proposal will have no impact on drainage because the site has existing residential use. Therefore, the proposal complies with policy DM17 of LPP2.

Trees

Policy DM24 of the LPP2 allows development which does not result in the loss or deterioration of ancient woodlands, important hedgerows, special trees, ground flora and the space required to support them in the long term.

The application site and surrounding area does not contain any trees.

Equality

Due regard should be given to the Equality Act 2010: Public Sector Equality Duty. Public bodies need to consciously think about the three aims of the Equality Duty as part of the process of decision-making. The weight given to the Equality Duty, compared to the other factors, will depend on how much that function affects discrimination, equality of opportunity and good relations and the extent of any disadvantage that needs to be

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addressed. The Local Planning Authority has given due regard to this duty and the considerations do not outweigh any matters in the exercise of our duty.

Planning Balance and Conclusion

The proposal development will result in changes and additions to the dwelling which are not considered to result in material harm to the local context or neighbouring amenity. It has been assessed in consideration of the following planning policies: CP11 and CP13 of the LPP1 and DM15, DM16, DM17 and DM18 of the LPP2 and High Quality Places SPD and is acceptable.

The proposal accords with the NPPF and Development Plan policies of the Local Plan Part 1 and 2, and does not raise any material matters of sufficient weight to outweigh it or that would weigh against the granting of planning permission.

Recommendation

Permit subject to the following conditions:

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 (1) of the Town and Country Planning Act 1990 (as amended).

2. The development hereby approved shall be constructed in accordance with the following plans:

- The Location Plan – drawing number 209/LOC
- Block Plan – drawing number 209/BLK Revision A
- Proposed Elevations – drawing number 209/102 Revision B
- Proposed Floor Plans – drawing number 209/101 Revision B

Reason: In the interests of proper planning and for the avoidance of doubt.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall be those as detailed on the associated application form.

Reason: To ensure a satisfactory visual relationship between the new development and the existing.

Informatives:

1. In accordance with paragraph 38 of the NPPF (December 2024), Winchester City Council (WCC) take a positive and proactive approach to development proposals, working with applicants and agents to achieve the best solution. To this end WCC:

- offer a pre-application advice service and,
- update applicants/agents of any issues that may arise in the processing of their application, where possible suggesting alternative solutions.

In this instance a site meeting was carried out with the applicant.

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2. The Local Planning Authority has taken account of the following development plan policies and proposals:

- Local Plan Part 1 - Joint Core Strategy: CP11, CP13
- Local Plan Part 2 - Development Management and Site Allocations: DM15, DM16, DM17, DM18

3. All building works including demolition, construction and machinery or plant operation should only be carried out between the hours of 0800 and 1800 hrs Monday to Friday and 0800 and 1300 hrs Saturday and at no time on Sundays or recognised public holidays. Where allegations of noise from such works are substantiated by the Environmental Protection Team, a Notice limiting the hours of operation under The Control of Pollution Act 1974 may be served.

4. During construction, no materials should be burnt on site. Where allegations of statutory nuisance are substantiated by the Environmental Protection Team, an Abatement Notice may be served under The Environmental Protection Act 1990. The applicant is reminded that the emission of dark smoke through the burning of materials is a direct offence under The Clean Air Act 1993.

5. Biodiversity Net Gain Informative for applications exempt from BNG

Based on the information available this permission is considered to be one which will not require the approval of a biodiversity gain plan before development is begun because one or more of the statutory exemptions or transitional arrangements (as set out in paragraph 17 of Schedule 7A of the Town and Country Planning Act 1990 and the Biodiversity Gain Requirements (Exemptions) Regulations 2024) are considered to apply as follows:

- The Development is for a householder application

6. Please be respectful to your neighbours and the environment when carrying out your development. Ensure that the site is well organised, clean and tidy and that facilities, stored materials, vehicles and plant are located to minimise disruption. Please consider the impact on your neighbours by informing them of the works and minimising air, light and noise pollution and minimising the impact of deliveries, parking and working on public or private roads. Any damage to these areas should be remediated as soon as is practically possible.

For further advice, please refer to the Construction Code of Practice

<http://www.ccscheme.org.uk/index.php/ccs-ltd/what-is-the-ccs/code-of-consideratepractice>

Please be advised that Building Regulations approval may be required for this development. Please contact WCC Building Control Department for more information (T: 01962 848176, E: buildingcontrol@winchester.gov.uk)

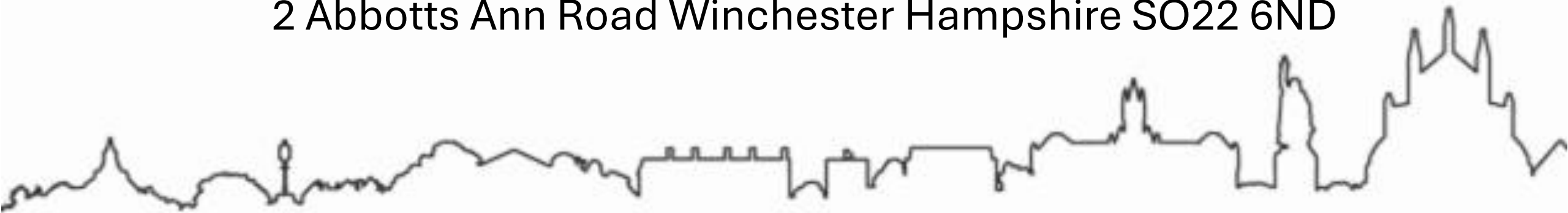
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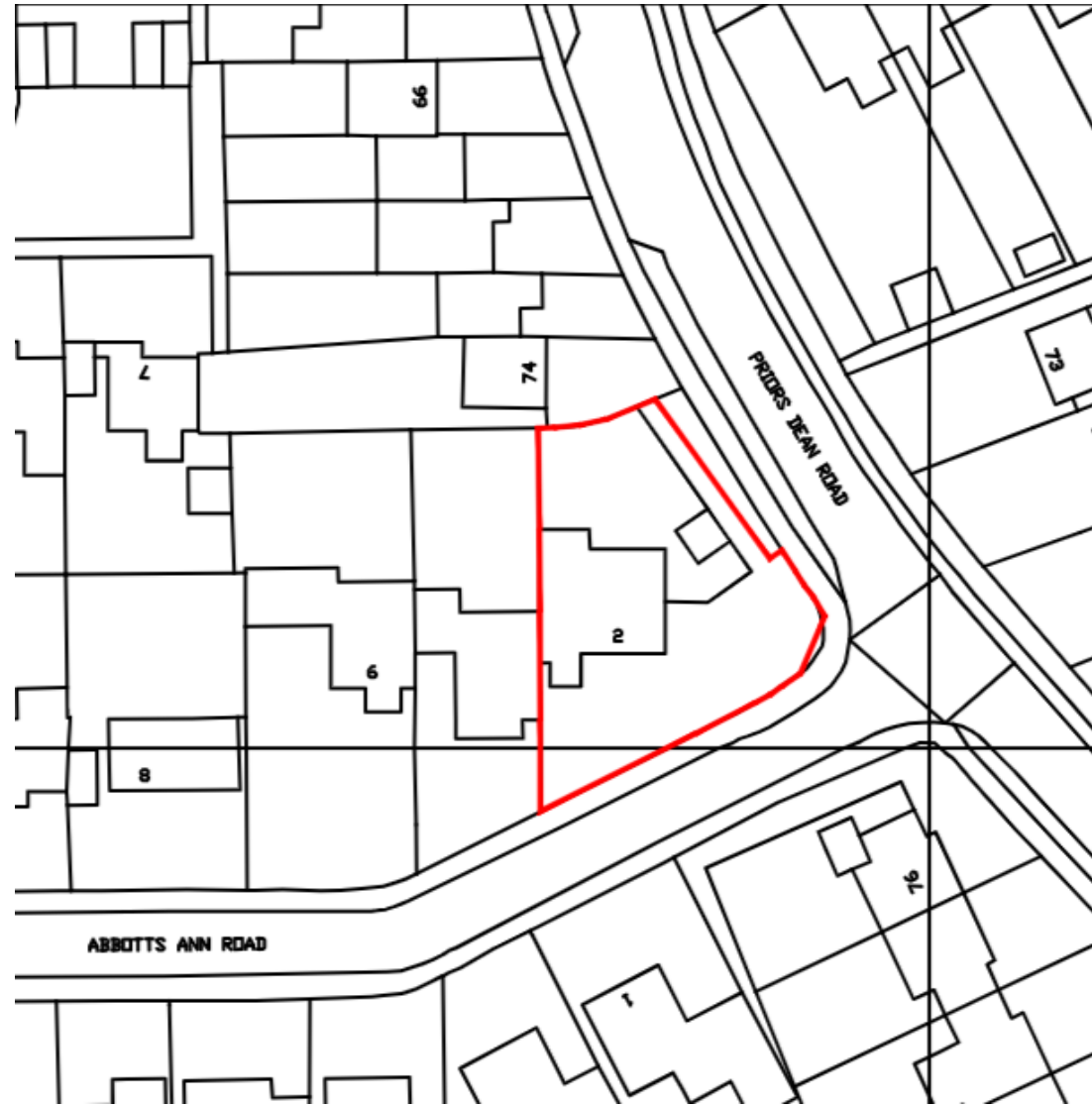
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Garage conversion with new replacement roof and single storey extension. Replacement windows. Erection of canopy to side of dwelling.

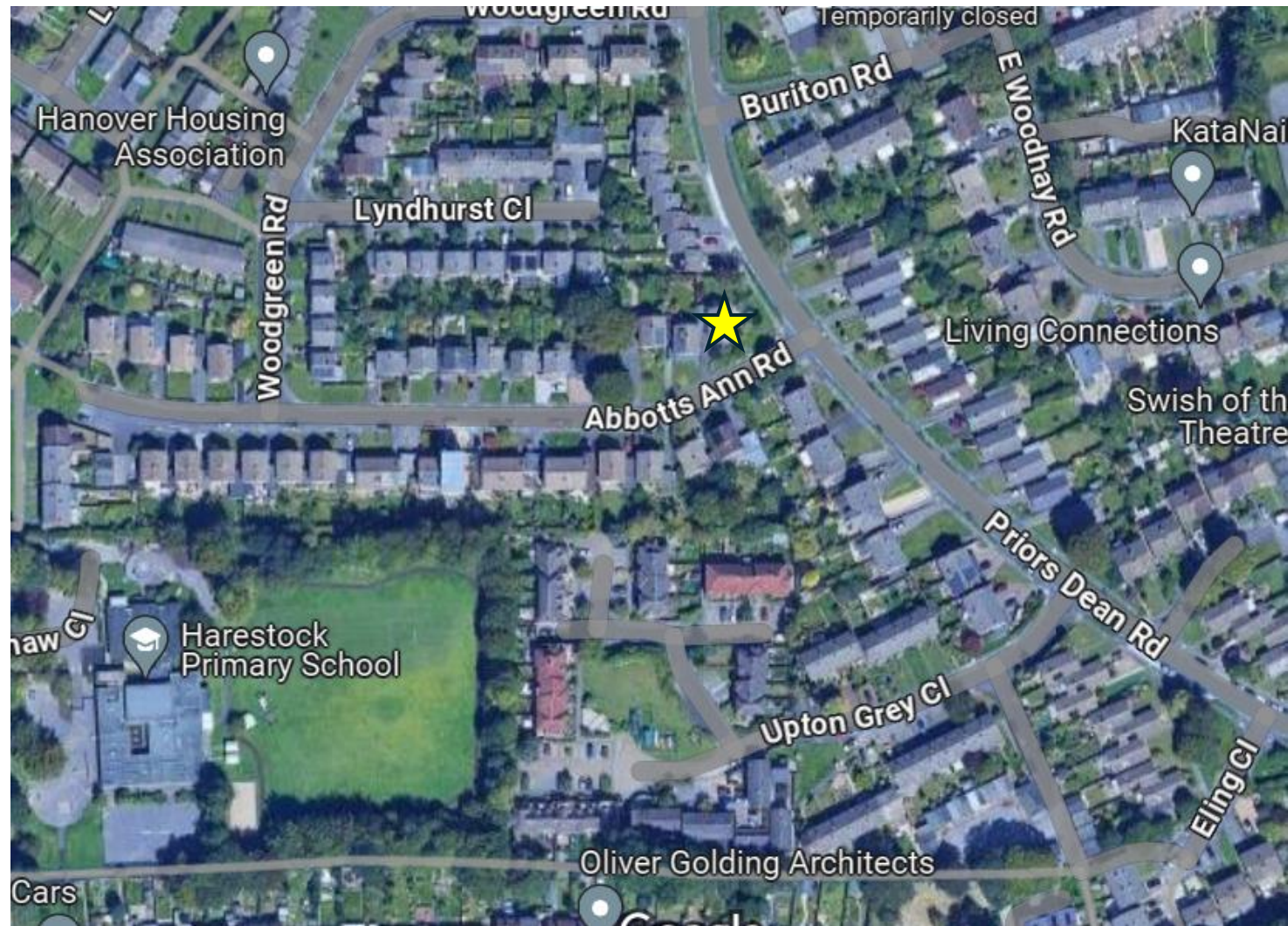
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2 Abbots Ann Road Winchester Hampshire SO22 6ND





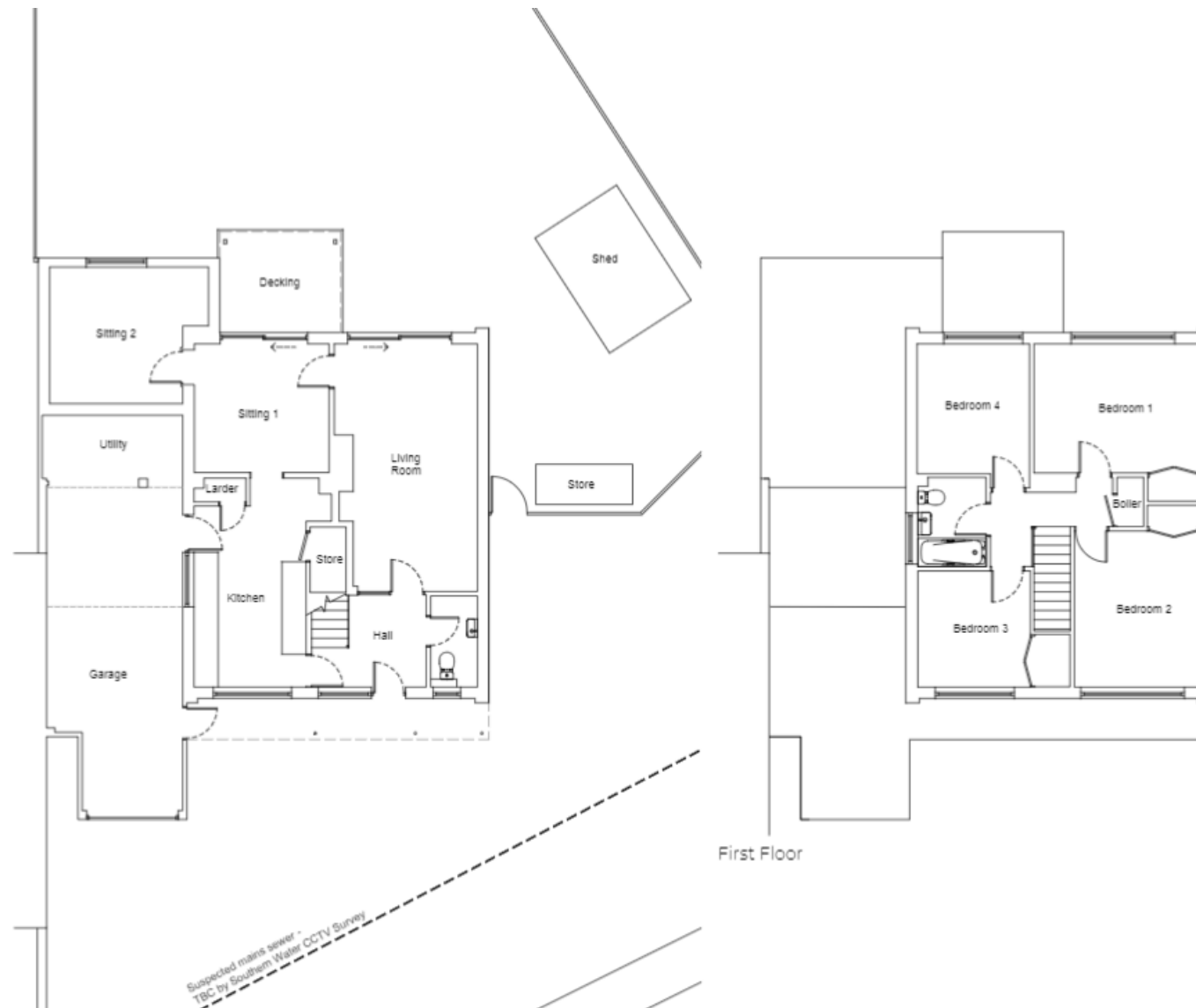
The Location Plan



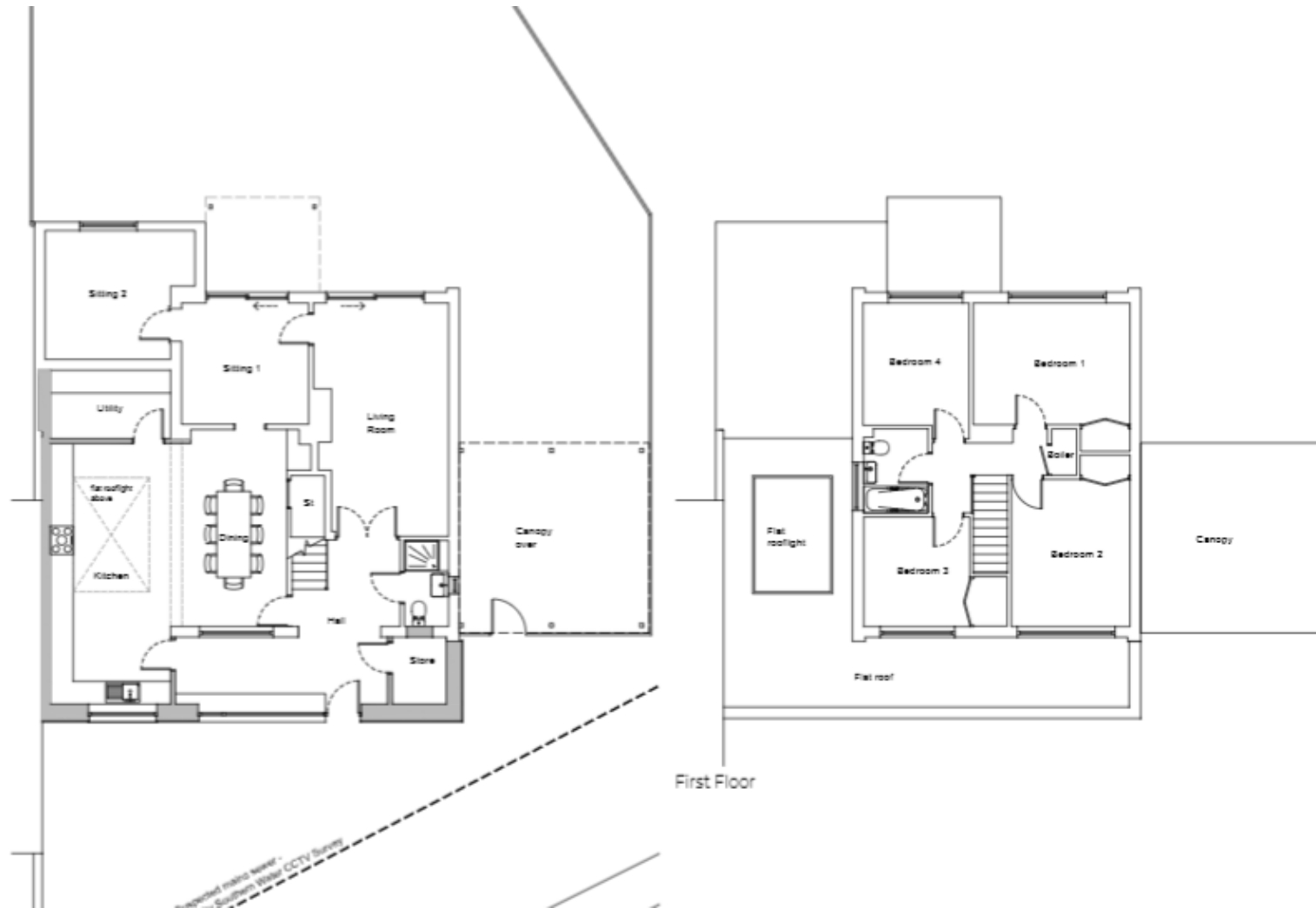
Aerial View



Proposed Block Plan



Existing Floor Plans



Proposed Floor Plans

Existing Elevations



Front Elevation (South)



Side Elevation (East)



Rear Elevation (North)



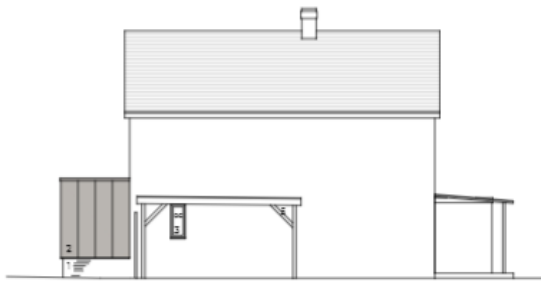
Side Elevation / Section (West)

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Proposed Elevations



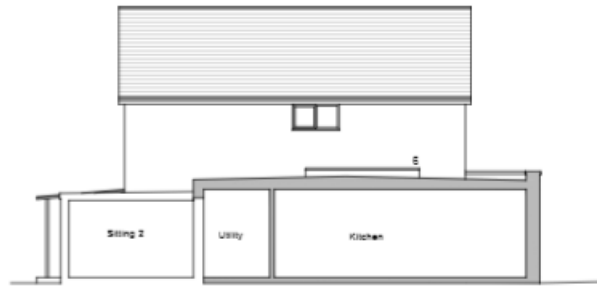
Front Elevation (South)



Side Elevation (East)



Rear Elevation (North)



Side Elevation / Section (West)



View from Abbots Ann Road



View from Priors Dean Road



Rear of Application Site